# KENSINGTON FIRE STATION/PUBLIC SAFETY BUILDING RENOVATION

## 215 ARLINGTON AVENUE, KENSINGTON, CALIFORNIA 94707

#### CODE DATA: **ABBREVIATIONS:** DRAWING INDEX: GENERAL NOTES: ARCHITECTURAL: NOTE: ALL ABBREVIATIONS MAY NOT BE USED. APPLICABLE CODES & 2001 UBC, 2000 UBC ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE RULES AND A-O COVER SHEET AREA DRAIN MACHINE BOLT **REGULATIONS:** 2001 CMC, UPC & NEC REGULATIONS OF STATE AND/OR LOCAL CODES, LAWS, ORDINANCES, STATUTES AND A-1 SITE & ROOF PLAN ADJACENT/ADJUSTABLE METAL REGULATIONS. NOTHING IN THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR MOISTURE RESISTANT CONSTRUCTION TYPE: ABOVE FINISHED FLOOR PERMITTING WORK CONTRARY TO THESE APPLICABLE RULES, REGULATIONS AND CODES A-2 BUILDING SECTIONS & PARTIAL 1ST FLOOR PLAN AUTOMATIC FIRE SPRINKLERS NOT REQUIRED MTD. MOUNTED BUILDING A-3 2ND FLOOR PLAN MOUNTING CABINET 2. THESE NOTES ARE INTENDED AS A GUIDE TO THE CONSTRUCTION REQUIREMENTS OCCUPANCY CLASSIFICATION: B,S3,R1 A-4 EXTERIOR ELEVATIONS ESTABLISHED FOR THIS PROJECT. NO CONTRACTOR SHOULD ATTEMPT TO DESIGN, BID OR CALIFORNIA BUILDING NOT TO SCALE CONSTRUCT ANY PORTION OF THE WORK HEIRIN WITHOUT FULL UNDERSTANDING OF THE CODE (TITLE 24) A-5 PARTIAL 2ND FLOOR DEMO & ON CENTER NUMBER OF STORIES O.C. DESIGN INTENT AND APPLICABLE CODE REQUIREMENTS. THE CONTRACTOR SHOULD OBTAIN CENTERLINE OUTSIDE DIAMETER 2ND FLOOR REFLECTED CEILING PLANS CLARIFICATION FROM THE ARCHITECT IF HE IS UNCERTAIN OF DESIGN INTENT. CLEAN OUT **OPENING** FLOOR AREA: CLEAR A-6 INTERIOR ELEVATIONS PLYWOOD CONCRETE THE DESIGN PRESENTED ON THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL PAINTED A-7 WINDOW & DOOR SCHEDULES, DETAILS REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR DIAMETER PRESSURE TREATED CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGEMENT IN DOUGLAS FIR A-8 DETAILS RADIUS ACCORDANCE WITH CODE REQUIREMENTS. ROOF DRAIN **EXISTING** TOTAL DRAWING REFRIGERATOR DRAWER THE DRAWINGS INDICATE LOCATION, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. 1ST FLOOR 2952 SF 0 2952 SF REQUIRED FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND APPLY GENERALLY FOR SIMILAR STRUCTURAL: 2760 SF 74 SF 2834 SF 2ND FLOOR ROUGH OPENING CONDITIONS. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT **ELEVATION** SEE ARCHITECTURAL CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE 5712 SF 74 SF 5786 SF **EXISTING** S-1 GENERAL NOTES, SPECIAL INSPECTION & TESTING, SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE (A) OF THE SAME CHARACTER AS SHOWN EXTERIOR SEE ELECTRICAL DRAWINGS LEGEND & ABBREVIATION FOR SIMILAR CONDITIONS; OR (B) IN ACCORD WITH CONVENTIONAL PRACTICES OF THE CBC; FLOOR DRAIN SQUARE FEET GALVANIZED OR (C) AS CLARIFIED BY THR ARCHITECT. WHERE DISCREPANCIES OCCUR, THEY SHALL BE SHEET S-2 FOUNDATION/1ST FLOOR FRAMING PLAN REPORTED TO THE ARCHITECT FOR RESOULUTION. SIMILAR GYPSUM FIBER REINFORCED SEE MECHANICAL DRAWINGS OCCUPANT LOAD: 1 PERSON/100 SF S-3 2ND FLOOR FRAMING/1ST FLOOR PLAN 5. NO ONE DRAWING OR SPECIFICATION SECTION SHALL "GOVERN". CONTRACTOR SHALL SHEET METAL SCREW APPARATUS BAY: 1 PERSON/200 SF BD. GYPSUM WALL BOARD S-4 ROOF FRAMING/2ND FLOOR PLAN CORRELATE WORK BETWEEN ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND SEE PLUMBING DRAWINGS 1 PERSON/200 SF ELECTRIC OR ELECTRICAL CONSULTANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL ALSO CORRELATE STAINLESS STEEL S-5 ELEVATION & DETAILS FINISHED OPENING SEE STRUCTURAL DRAWINGS WORK BETWEEN DRAWINGS OF DIFFERENT SCALES WITHIN EACH SECTION. IT IS THE FIRE TREATED STL. EXPICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE CONTRACT S-6 DETAILS 1ST FLOOR OFFICE 1444/100 = 15 OCCUPANTSGALVANIZED SHEET METAL DOCUMENTS IN THEIR ENTIRETY, REPORT ALL DISCREPANCIES ENCOUNTERED THEREIN TO 1ST FLOOR APPARATUS 1508/200 = 8 OCCUPANTS HANDICAPPED S-7 DETAILS UNIFORM BUILDING CODE THE ARCHITECT AND AWAIT RESOLUTION BEFORE PROCEEDING WITH ANY WORK AFFECTED HEIGHT UNLESS OTHERWISE NOTED TOTAL FIRST FLOOR 23 OCCUPANTS INSIDE DIAMETER VERIFY IN FIELD LAVATORY UNLESS SHOWN OTHERWISE, DETAILS SHOWN AS "TYPICAL" APPLY WHEREVER MANUF. MANUFACTURER WATER CLOSET 2ND FLOOR OFFICE APPROPRIATE. SPECIFIC DETAILS TAKE PRECEDENCE OVER "TYPICAL" DETAILS. SPECIFIC WATER PROOF 2ND FLOOR LIVING NOTES ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES. **ELECTRICAL:** TOTAL SECOND FLOOR 7. DIMENSIONS MARKED "VERIFY" ARE TO BE CHECKED FOR ACCURACY BY THE CONTRACTOR AND ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT E-1 SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE BEFORE PROCEEDING. COUNTY NOTES, PANELS, SINGLE LINE DIAGRAM EXITS: 1 EXIT REQ'D FOR THE 1ST FLOOR 8. EXISTING SITE AND CONSTRUCTION INFORMATION IS BASED ON ORIGINAL DRAWINGS BY 2 EXISTS REO'D FOR THE 2ND FLOOR E-2 POWER, SIGNAL & LIGHTING PLAN JEFFRIES, LYONS AND HILL DATED 9/19/69 AND ON DRAWINGS BY MARCI LI WONG NOTE: 2ND FLOOR EXITS DIRECTLY TO GRADE ARCHITECTS DATED 9/10/98. E-3 TITLE-24 **PARKING:** 9. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE ARCHITECTURAL CONTRACT NO CHANGE REQUIRED DOCUMENTS WITH THE STRUCTURAL DRAWINGS AS TO ALL LAYOUTS, DIMENSIONS, AND ELEVATIONS AND SHALL AT ONCE REPORT DISCOVERED ERRORS, INCONSISTENCIES, OR **HVAC: HANDICAPPED** 1ST FLOOR OFFICE AREA REQUIRED TO BE OMISSIONS TO THE ARCHITECT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACCESSIBILITY: ACCESSIBLE AND COMPLY WITH TITLE 24 ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN TH DESIGN BUILD BY MECHANICAL CONTRACTOR CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR 2ND FLOOR ACCESS RESTRICTED TO POLICE NO PART OF GENERAL CONTRACT. GENERAL CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AND FIRE DEPARTMENT PERSONNEL THUS TO COORDINATE WORK WITH THE HVAC CONTRACTOR AN APPROPRIATE AMOUNT OF THE ATTRIBUTED COSTS FOR CORRECTION. ACCESSIBILITY NOT REQUIRED 10. DO NOT SCALE THE DRAWINGS. LAY OUT WORK FOLLOWING WRITTEN DIMENSIONS. IF WRITTEN DIMENSIONS ARE LACKING, NOTIFY THE ARCHITECT AT ONCE. WHERE LOCATION MAP: SYMBOLS: PROJECT ROSTER: DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION. 11. DIMENSIONS ARE GIVEN TO FACE OF FINISH UNLESS OTHERWISE NOTED ON THE DRAWINGS. 12. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND VERIFIED ACTUAL OWNER GRADES, ELEVATIONS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER **ELEVATION** WHICH WORK IS TO BE PERFORMED. ANY DISCREPANCIES SHALL BE CALLED TO THE KENSINGTON FIRE PROTECTION DISTRICT - DRAWING NUMBER ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. 10900 SAN PABLO AVENUE EL CERRITO, CA 94530 13. ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND -SHEET WHERE DRAWN (510) 655-7793 SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK. DETAIL 14. ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND - DRAWING NUMBER **ARCHITECT** BUILDING ELEMENTS SO CALLED SHALL BE THE FINANCIAL RESPONSIBILITY OF THE 356983 ITALO A. CALPESTRI III & ASSOCIATES AIA CONTRACTOR. - SHEET WHERE DRAWN BANK OF AMERICA BUILDING PERMIT NUMBER 1504 PARK STREET, SUITE 7 15. THE CONTRACTOR SHALL PATCH ALL AREAS OF EXISTING BUILDING WHICH ARE IN NEED OF 1) DOOR TAG ALAMEDA, CA 94501 SUCH WORK AS A RESULT OF DEMOLITION, INSTALLATION OF NEW ITEMS, OR NEW REVIEWED (510) 522-6769 FAX (510) 521-1427 STRUCTURAL ENGINEÉR 16. ANY WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES (9) KEY NOTE NUMBER SPECIFICATIONS SHALL NOT BE INCOME. TO PERMIT OR TO BE AN APPROVAL OF THE VIDLATION OF ANY COUNTY ORDINANCE OR AND DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER. BASELINE ENGINEERING 1504 PARK STREET, SUITE 8 17. INFORMATION SHOWN IN DRAWINGS REGARDING EXISTING CONSTRUCTION IS APPROXIMATE. ALAMEDA, CA 94501 Citales Balsinkonser CONTRACTOR SHALL SURVEY EXISTING CONDITIONS AND VERIFY DETAILED CHARACTERISTICS (510) 865-4623 FAX (510) 865-4704 AFFECTING THE WORK OF THIS CONCTRACT. ANY DISCREPANCIES SHALL BE CALLED TO WINDOW TAG CONDITIONAL APPROVAL INSTALL A BACKFLOW PREVENTION THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRA COSTA COUNTY ELECTRICAL ENGINEER DEVICE PER DISTRICT ORDINANCE

NO. 1632-0396

A STEGE SANITARY DISTRICT

PERMIT AND PAYMENT OF PRES ARE REQUIRED PRIOR TO

WORK ON SEWER LINES.

ALIGN SURFACES

GRID LINE REFERENCE

18. EXIT DOOR HARDWARE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A

TO INCLUDE EXISTING WINDOWS AND MINIBLINDS AT THE END OF THE JOB.

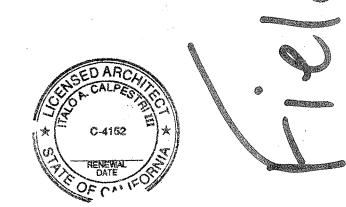
19. BROOM CLEAN CONSTRUCTION PREMISES AT THE END OF EACH DAY AND FINAL CLEANING

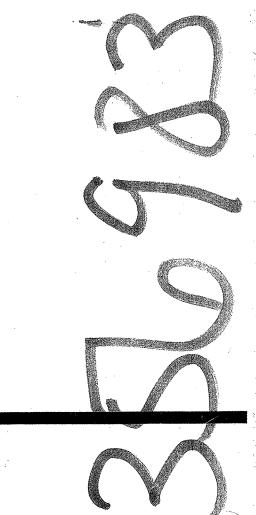
20. MATERIALS, ASSEMBLIES AND SYSTEMS SHOWN ARE NEW UNLESS NOTES AS EXISTING OR

KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

## ITALO A. CALPESTRI III & ASSOCIATES AIA

BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427





These plans must be kept on

the premises and accessible

to the Inspector at all times.

WECO ELECTRIC

P.O. BOX 6124

CONCORD, CA 94524

(925) 672-0969 FAX (925) 672-4974

HVAC CONTRACTOR — (DESIGN BUILD)

LLOYD DIEHL

NORTH

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE

DRAWING TITLE

KENSINGTON, CA 94707

**COVER SHEET** 

PROJECT No. : 2324 DRAWN BY: CHECKED BY: DATE: 07-29-04 SCALE: AS NOTED

# KENSINGTON FIRE STATION/PUBLIC SAFETY BUILDING RENOVATION

## 215 ARLINGTON AVENUE, KENSINGTON, CALIFORNIA 94707

	T			C 1152 E A CO 1152
GENERAL NOTES:	ABBREVIATIONS:	CODE DATA:	DRAWING INDEX:	
	NOTE: ALL ABBREVIATIONS MAY NOT BE USED.		ARCHITECTURAL:	
<ol> <li>ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE RULES AND REGULATIONS OF STATE AND/OR LOCAL CODES, LAWS, ORDINANCES, STATUTES AND REGULATIONS. NOTHING IN THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK CONTRARY TO THESE APPLICABLE RULES, REGULATIONS AND CODES.</li> </ol>	A.D. AREA DRAIN  ADJ. ADJACENT/ADJUSTABLE  A.F.F. ABOVE FINISHED FLOOR  BLDG. BUILDING  M.B. MACHINE BOLT  METAL  M.R. MOISTURE RESISTANT  MTD. MOUNTED	APPLICABLE CODES & 2001 CBC REGULATIONS: 2001 CPC 2001 CEC  CONSTRUCTION TYPE: V—N	A-O COVER SHEET A-1 SITE & ROOF PLAN A-2 BUILDING SECTIONS & PARTIAL 1ST FLOOR PLAN	
<ol> <li>THESE NOTES ARE INTENDED AS A GUIDE TO THE CONSTRUCTION REQUIREMENTS ESTABLISHED FOR THIS PROJECT. NO CONTRACTOR SHOULD ATTEMPT TO DESIGN, BID OR CONSTRUCT ANY PORTION OF THE WORK HEIRIN WITHOUT FULL UNDERSTANDING OF THE DESIGN INTENT AND APPLICABLE CODE REQUIREMENTS. THE CONTRACTOR SHOULD OBTAIN CLARIFICATION FROM THE ARCHITECT IF HE IS UNCERTAIN OF DESIGN INTENT.</li> <li>THE DESIGN PRESENTED ON THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL</li> </ol>	CAB. CABINET MTG. MOUNTING  CBC CALIFORNIA BUILDING (N) NEW  CODE (TITLE 24) NTS NOT TO SCALE  C CENTERLINE O.C. ON CENTER  C.O. CLEAN OUT O.D. OUTSIDE DIAMETER  CLR. CLEAR OPN'G OPENING	OCCUPANCY CLASSIFICATION:  NUMBER OF STORIES  FLOOR AREA:  AUTOMATIC FIRE SPRINKLERS NOT REQUIRED  B  2	A-3 2ND FLOOR PLAN A-4 EXTERIOR ELEVATIONS A-5 PARTIAL 2ND FLOOR DEMO & 2ND FLOOR REFLECTED CEILING PLANS A-6 INTERIOR ELEVATIONS	
REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGEMENT IN ACCORDANCE WITH CODE REQUIREMENTS.	DIA. DIAMETER PNTD. PAINTED D.F. DOUGLAS FIR P.T. PRESSURE TREATED DN DOWN R. RADIUS	EVICTIVO NEW TOTAL	A-7 WINDOW & DOOR SCHEDULES, DETAILS A-8 DETAILS	
4. THE DRAWINGS INDICATE LOCATION, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND APPLY GENERALLY FOR SIMILAR CONDITIONS. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT	DWR. DRAWER  EA. EACH  EI FLEVATION  REF. REFRIGERATOR  REQ'D. REQUIRED  R.O. ROUGH OPENING	EXISTING         NEW         TOTAL           1ST FLOOR         2952 SF         0         2952 SF           2ND FLOOR         2760 SF         74 SF         2834 SF	STRUCTURAL:	
CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE (A) OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS; OR (B) IN ACCORD WITH CONVENTIONAL PRACTICES OF THE CBC; OR (C) AS CLARIFIED BY THR ARCHITECT. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOULUTION.	(E) EXISTING DRAWINGS EXT. EXTERIOR S.E.D. SEE ELECTRICAL DRAWINGS F.D. FLOOR DRAIN S.F. SQUARE FEET GALV. GALVANIZED SHT. SHEET GA. GAGE SIM. SIMIL AR		S-1 GENERAL NOTES, SPECIAL INSPECTION & TESTING, LEGEND & ABBREVIATION S-2 FOUNDATION/1ST FLOOR FRAMING PLAN	
5. NO ONE DRAWING OR SPECIFICATION SECTION SHALL "GOVERN". CONTRACTOR SHALL CORRELATE WORK BETWEEN ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND CONSULTANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL ALSO CORRELATE WORK BETWEEN DRAWINGS OF DIFFERENT SCALES WITHIN EACH SECTION. IT IS THE	GFRP GYPSUM FIBER REINFORCED SMD SEE MECHANICAL DRAWINGS SYP. BD. GYPSUM WALL BOARD SPD SEE PLUMBING DRAWINGS ELECT. ELECTRIC OR ELECTRICAL S.S. STAINLESS STEEL F.O. FINISHED OPENING SSD SEE STRUCTURAL DRAWING F.T. FIRE TREATED STEEL STEEL	APPARATUS BAY: 1 PERSON/200 SF LIVING: 1 PERSON/200 SF	S-3 2ND FLOOR FRAMING/1ST FLOOR PLAN S-4 ROOF FRAMING/2ND FLOOR PLAN S-5 ELEVATION & DETAILS	
EXPICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE CONTRACT DOCUMENTS IN THEIR ENTIRETY, REPORT ALL DISCREPANCIES ENCOUNTERED THEREIN TO THE ARCHITECT AND AWAIT RESOLUTION BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SUCH DISCREPANCIES.	F.T. FIRE TREATED  GSM GALVANIZED SHEET METAL  HC HANDICAPPED  HT. HEIGHT  I.D. INSIDE DIAMETER  STL. STEEL  TYP. TYPICAL  UBC UNIFORM BUILDING CODE  U.O.N. UNLESS OTHERWISE NOTED  V.I.F. VERIFY IN FIELD	1ST FLOOR OFFICE 1444/100 = 15 OCCUPANTS 1ST FLOOR APPARATUS 1508/200 = 8 OCCUPANTS  TOTAL FIRST FLOOR 23 OCCUPANTS	S-7 DETAILS	
6. UNLESS SHOWN OTHERWISE, DETAILS SHOWN AS "TYPICAL" APPLY WHEREVER APPROPRIATE. SPECIFIC DETAILS TAKE PRECEDENCE OVER "TYPICAL" DETAILS. SPECIFIC NOTES ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES.	LAV LAVATORY W/ WITH MANUF. MANUFACTURER W.C. WATER CLOSET W.P. WATER PROOF	2ND FLOOR OFFICE 2ND FLOOR LIVING TOTAL SECOND FLOOR	ELECTRICAL:	STAMP:
<ol> <li>DIMENSIONS MARKED "VERIFY" ARE TO BE CHECKED FOR ACCURACY BY THE CONTRACTOR AND ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.</li> </ol>		EXITS: 1 EXIT REQ'D FOR THE 1ST FLOOR	E-1 SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE COUNTY NOTES, PANELS, SINGLE LINE DIAGRAM	
8. EXISTING SITE AND CONSTRUCTION INFORMATION IS BASED ON ORIGINAL DRAWINGS BY JEFFRIES, LYONS AND HILL DATED 9/19/69 AND ON DRAWINGS BY MARCI LI WONG ARCHITECTS DATED 9/10/98.		2 EXISTS REQ'D FOR THE 2ND FLOOR NOTE: 2ND FLOOR EXITS DIRECTLY TO GRADE	E-2 POWER, SIGNAL & LIGHTING PLAN E-3 TITLE-24	
9. THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE ARCHITECTURAL CONTRACT DOCUMENTS WITH THE STRUCTURAL DRAWINGS AS TO ALL LAYOUTS, DIMENSIONS, AND ELEVATIONS AND SHALL AT ONCE REPORT DISCOVERED ERRORS, INCONSISTENCIES, OR		PARKING: NO CHANGE REQUIRED  HANDICAPPED 1ST FLOOR OFFICE AREA REQUIRED TO BE	HVAC:	
OMISSIONS TO THE ARCHITECT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN TH CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTED COSTS FOR CORRECTION.		ACCESSIBILITY: ACCESSIBLE AND COMPLY WITH TITLE 24  2ND FLOOR ACCESS RESTRICTED TO POLICE AND FIRE DEPARTMENT PERSONNEL THUS ACCESSIBILITY NOT REQUIRED	DESIGN BUILD BY MECHANICAL CONTRACTOR. NO PART OF GENERAL CONTRACT. GENERAL CONTRACTOR TO COORDINATE WORK WITH THE HVAC CONTRACTOR	
10. DO NOT SCALE THE DRAWINGS. LAY OUT WORK FOLLOWING WRITTEN DIMENSIONS. IF WRITTEN DIMENSIONS ARE LACKING, NOTIFY THE ARCHITECT AT ONCE. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.	SYMBOLS:	LOCATION MAP:	PROJECT ROSTER:	REVISIONS: No. DESCRIPTION  10 (2) 64
11. DIMENSIONS ARE GIVEN TO FACE OF FINISH UNLESS OTHERWISE NOTED ON THE DRAWINGS.				
12. THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND VERIFIED ACTUAL GRADES, ELEVATIONS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.	ELEVATION DRAWING NUMBER		OWNER  KENSINGTON FIRE PROTECTION DISTRICT  10900 SAN PABLO AVENUE EL CERRITO, CA 94530	
13. ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.	SHEET WHERE DRAWN		(510) 655-7793	PROJECT  KENSINGTON FIRE ST
14. ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.	DETAIL  DRAWING NUMBER  SHEET WHERE DRAWN		ARCHITECT  ITALO A. CALPESTRI III & ASSOCIATES AIA  BANK OF AMERICA BUILDING  1504 PARK STREET, SUITE 7	215 ARLINGTON AVENUE KENSINGTON, CA 94707
15. THE CONTRACTOR SHALL PATCH ALL AREAS OF EXISTING BUILDING WHICH ARE IN NEED OF SUCH WORK AS A RESULT OF DEMOLITION, INSTALLATION OF NEW ITEMS, OR NEW CONSTRUCTION.	DOOR TAG	Non Andrew Community of the President o	ALAMEDA, CA 94501 (510) 522-6769 FAX (510) 521-1427	DRAWING TITLE
16. ANY WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.	9 KEY NOTE NUMBER	The state of the s	STRUCTURAL ENGINEER 3 5 6 9 8 3  BASELINE ENGINEERING PERMIT NUMBER 1504 PARK STREET, SUITE 8	COVER SHEET
17. INFORMATION SHOWN IN DRAWINGS REGARDING EXISTING CONSTRUCTION IS APPROXIMATE. CONTRACTOR SHALL SURVEY EXISTING CONDITIONS AND VERIFY DETAILED CHARACTERISTICS AFFECTING THE WORK OF THIS CONCTRACT. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.	WINDOW TAG		ALAMEDA, CA 94501 (510) 865-4623 FAX (510) 865-4704  ELECTRICAL ENGINEER  WEGO FLECTRIC	PROJECT No. :
18. EXIT DOOR HARDWARE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A	ALIGN		WECO ELECTRIC	DD4441 DV

ALIGN SURFACES

GRID LINE REFERENCE

REVISION

18. EXIT DOOR HARDWARE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A

TO INCLUDE EXISTING WINDOWS AND MINIBLINDS AT THE END OF THE JOB.

19. BROOM CLEAN CONSTRUCTION PREMISES AT THE END OF EACH DAY AND FINAL CLEANING

KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.

ITALO A. CALPESTRI III

& ASSOCIATES AIA



CONTRA COSTA COUNTY

hese plans must belkept on the premises and accessible to the inspector at all times.

DIRECTOR OF BUILDING INSPECTION

LLOYD DIEHL

P.O. BOX 6124

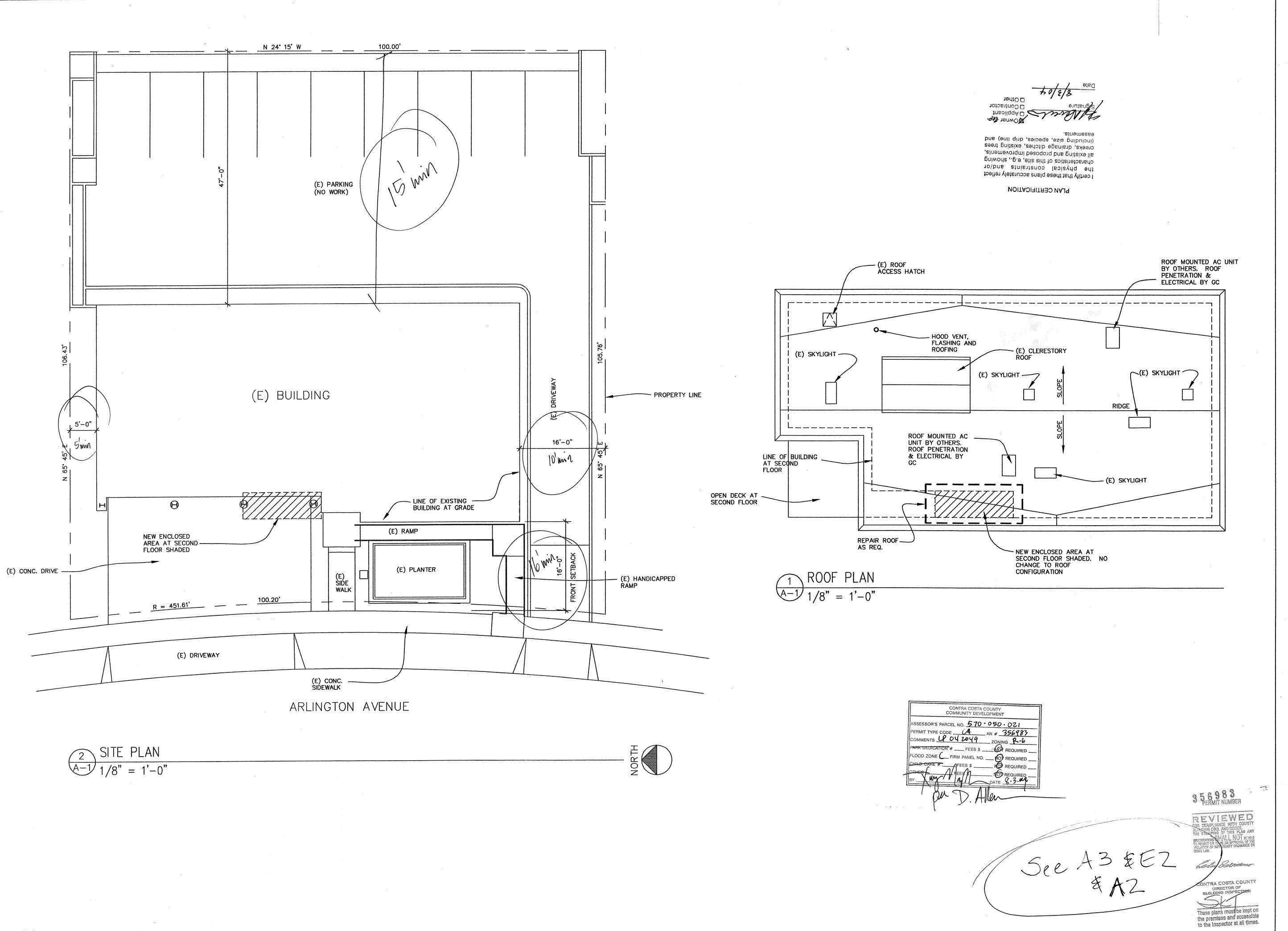
CONCORD, CA 94524

(925) 672-0969 FAX (925) 672-4974

HVAC CONTRACTOR - (DESIGN BUILD)

KENSINGTON FIRE STATION 15 ARLINGTON AVENUE

PROJECT No. : DRAWN BY: CHECKED BY: 07-29-04 AS NOTED



BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427



STAMP:

REVISIONS:
No. DESCRIPTION DATE

PROJECT

KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

SITE & ROOF PLANS

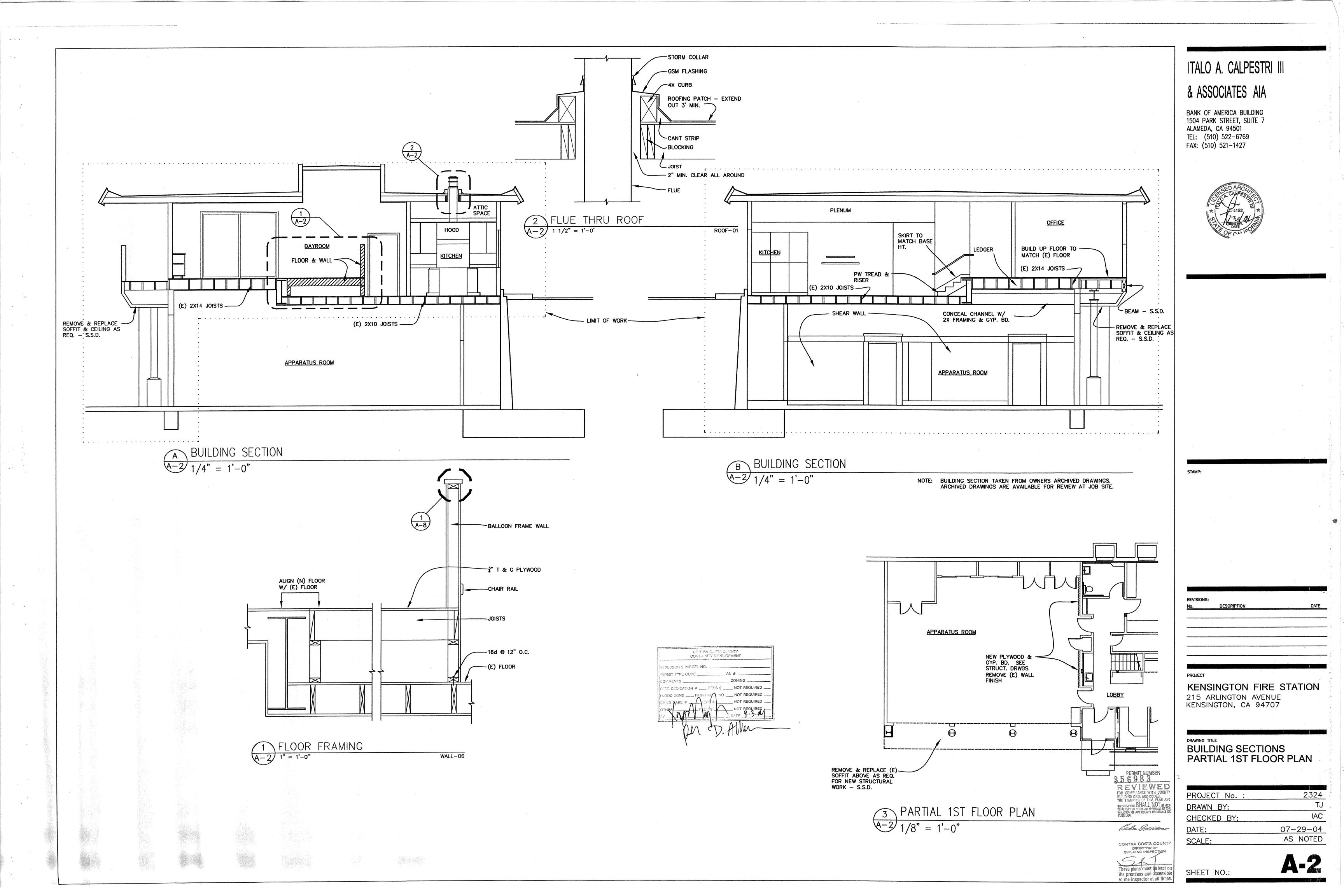
PROJECT No.: 2324

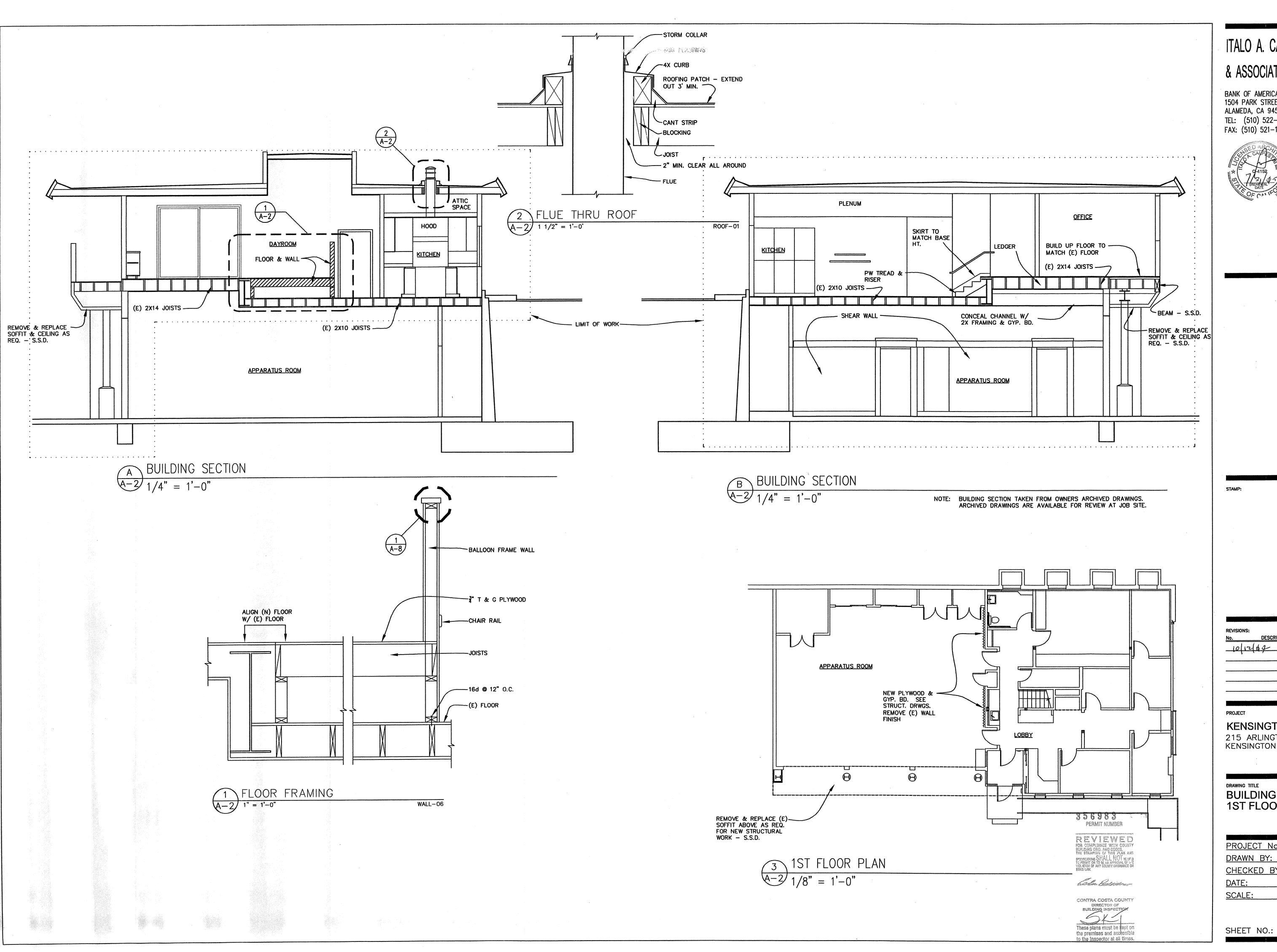
DRAWN BY: TJ

CHECKED BY: IAC

DATE: 07-29-04

SCALE: AS NOTED





BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427

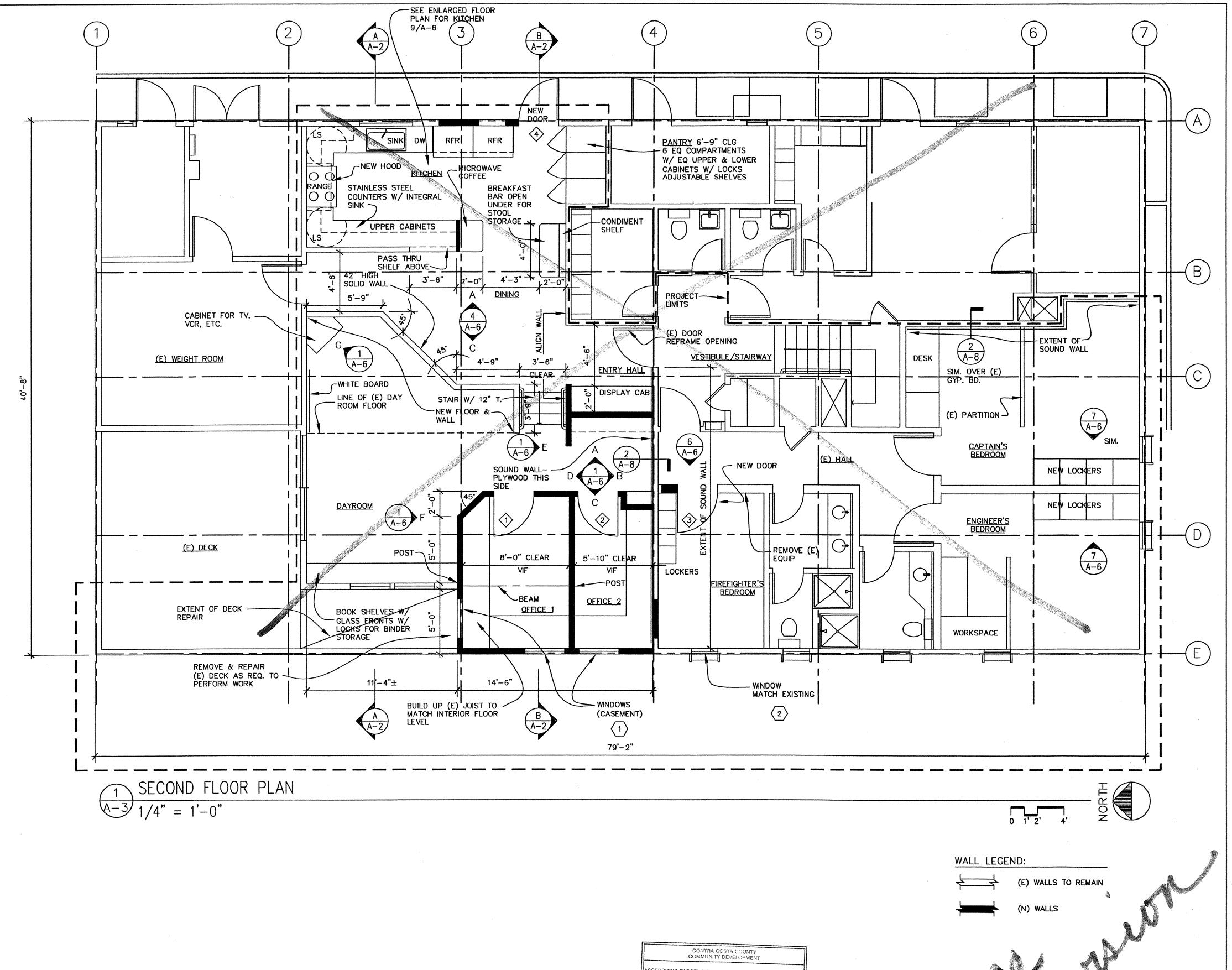


10/12/109

### KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

BUILDING SECTIONS 1ST FLOOR PLAN

100 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1	
PROJECT No. :	2324
DRAWN BY:	TJ ·
CHECKED BY:	IAC
DATE:	07-29-04
SCALE:	AS NOTED
	,



ITALO A. CALPESTRI III

& ASSOCIATES AIA

BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427



STAMP:

REVISIONS:
No. DESCRIPTION DATE

PROJECT

356983

PERMIT NUMBER

FOR COMPLIANCE WITH COUNTY BUILDING ORD, AND CODES. THE STAMPING OF THIS PLAN AND SPECIFICATION SHALL NOT SENEL TO PENALT OR TO SE AN APPROVAL OF THE VIOLETCH OF ANY COUNTY ORDINANCE OR STATE LAW.

hila Hilman

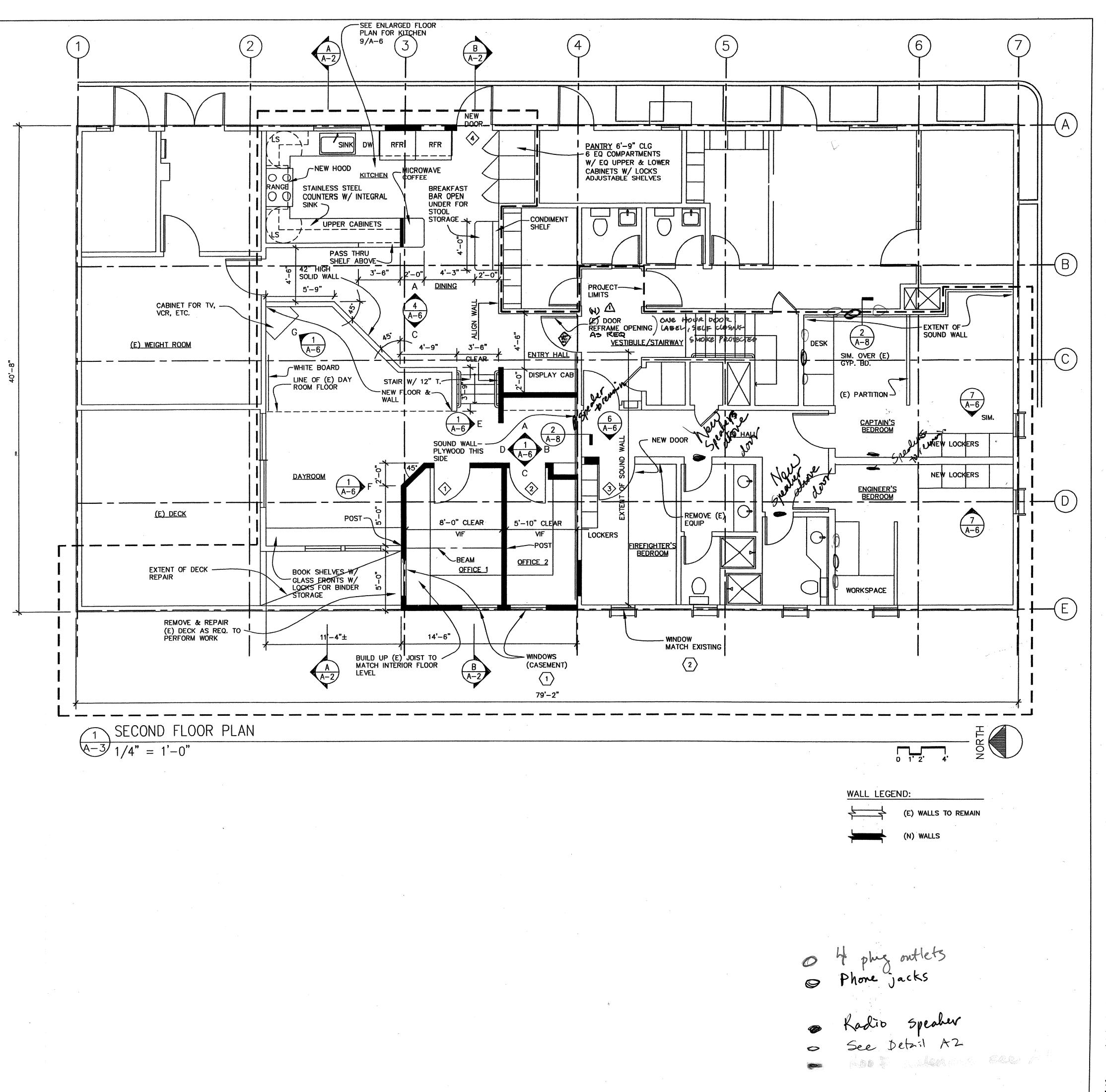
CONTRA COSTA COUNTY DIRECTOR OF BUILDING INSPECTION

These plans must be kept on the premises and accessible to the inspector at all times.

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

SECOND FLOOR PLAN

	j.·
PROJECT No. :	2324
DRAWN BY:	TJ
CHECKED BY:	IAC
DATE:	07-29-04
SCALE:	AS NOTED



BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427



REVISIONS:

No. DESCRIPTION DATE

DOOR B GODED 11/B (DO)

2/AB I HR WALL

PROJECT

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

SECOND FLOOR PLAN

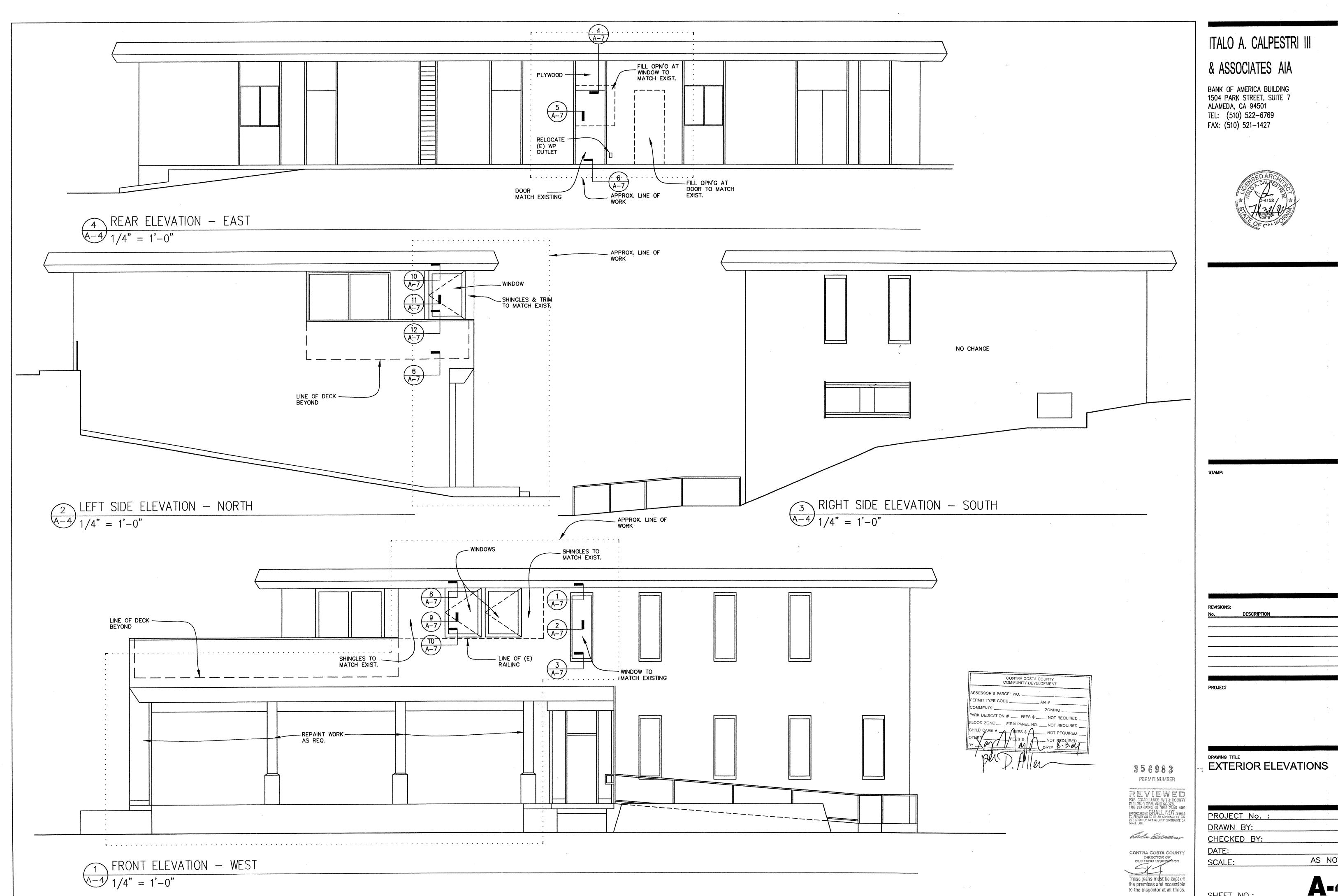
PROJECT No.: 2324

DRAWN BY: TJ

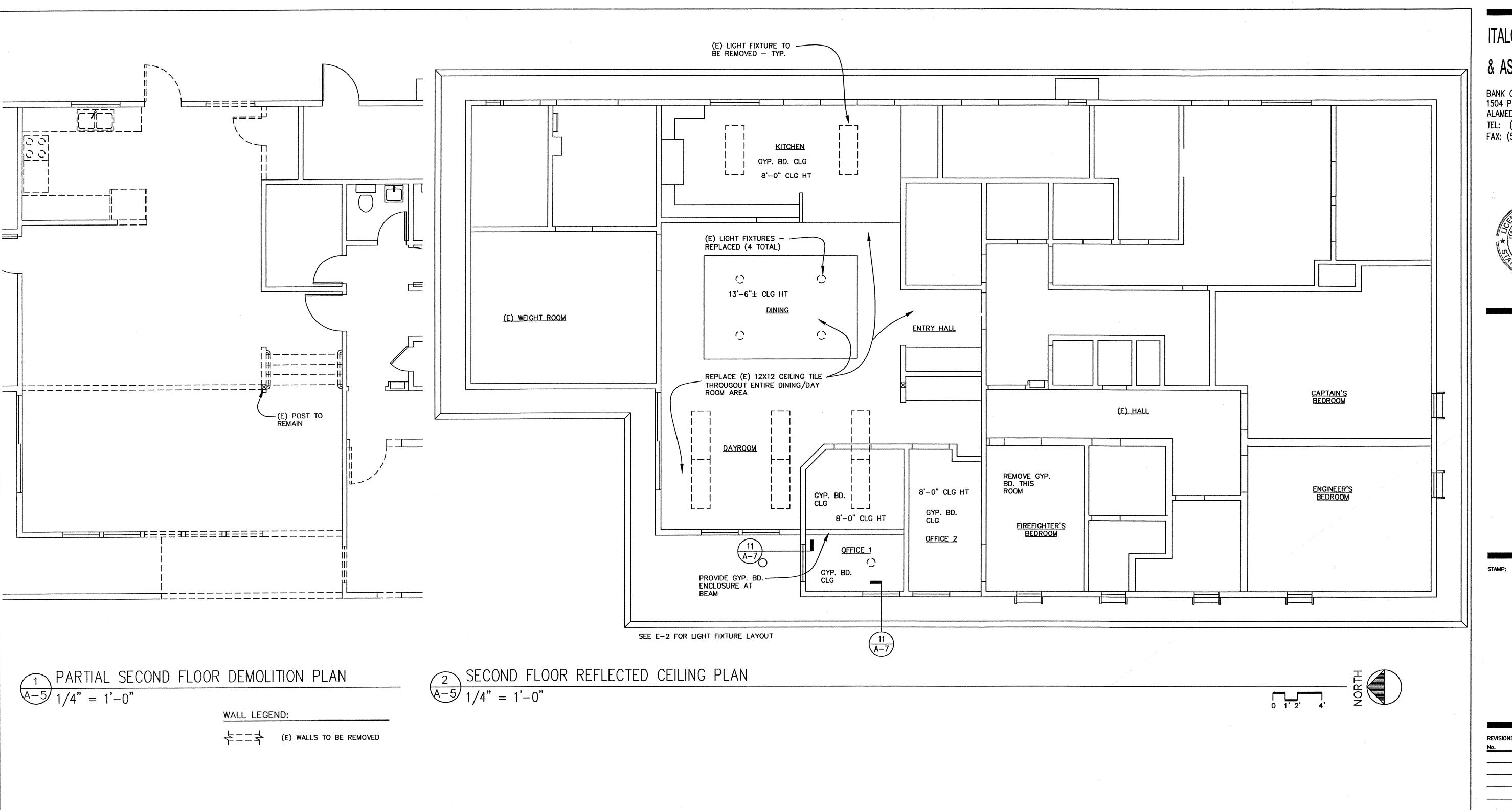
CHECKED BY: IAC

DATE: 07-29-04

SCALE: AS NOTED



AS NOTED



BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427



REVISIONS:

3 5 6 9 8 3 PERMITNUMBER

PREVIEWED
FOR COMPLIANCE WITH COUNTY
BUILDING ORD, AND CODES
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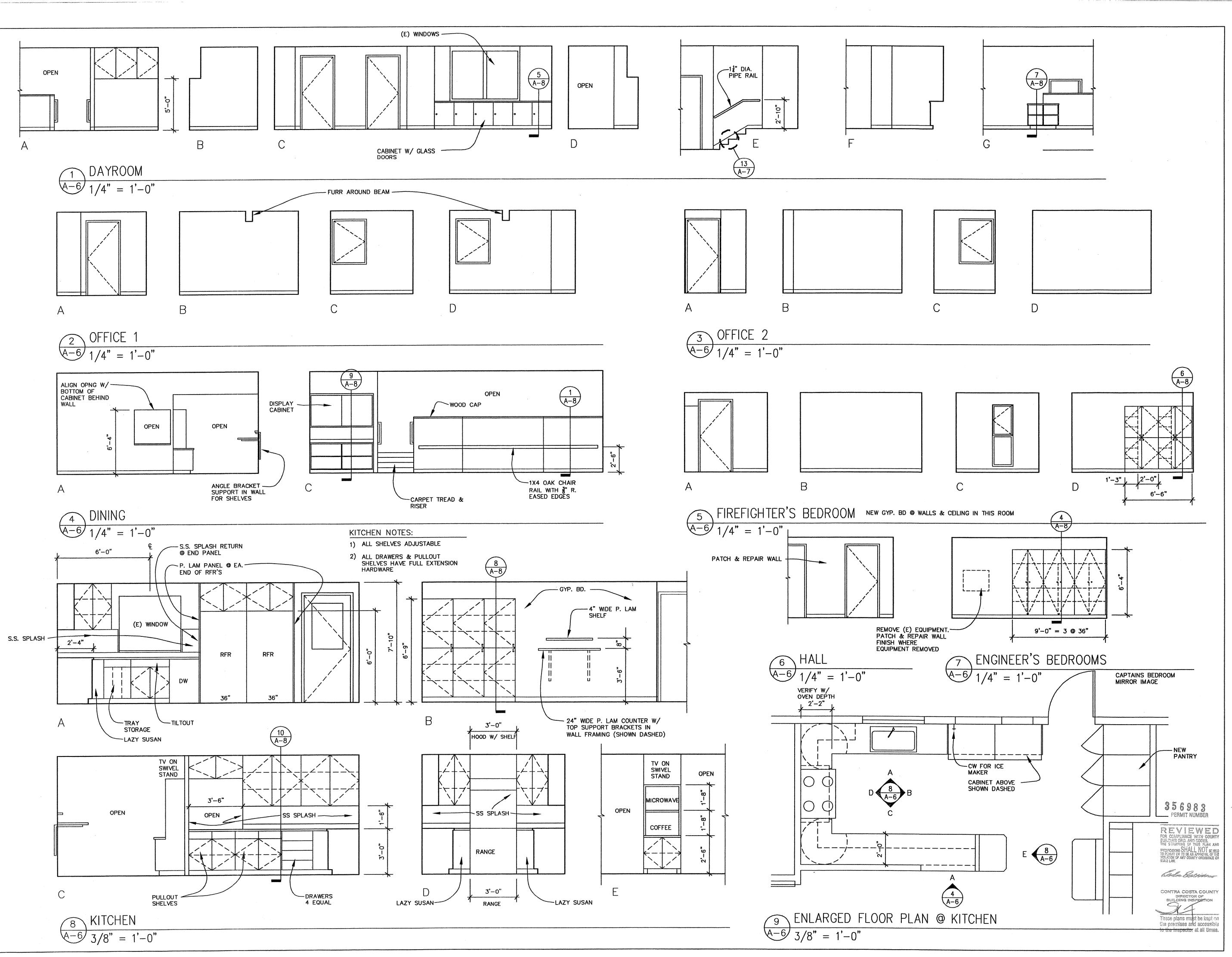
CONTRA COSTA COUNTY DIRECTOR OF BUILDING INSPECTION

These plans must be kept on the premises and accessible to the inspector at all times.

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

> SECOND FLOOR RCP SECOND FLOOR DEMO PLAN

> 2324 PROJECT No. : TJ DRAWN BY: IAC CHECKED BY: 07-29-04 DATE: AS NOTED



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REVISIONS:
No. DESCRIPTION DATE

PROJECT

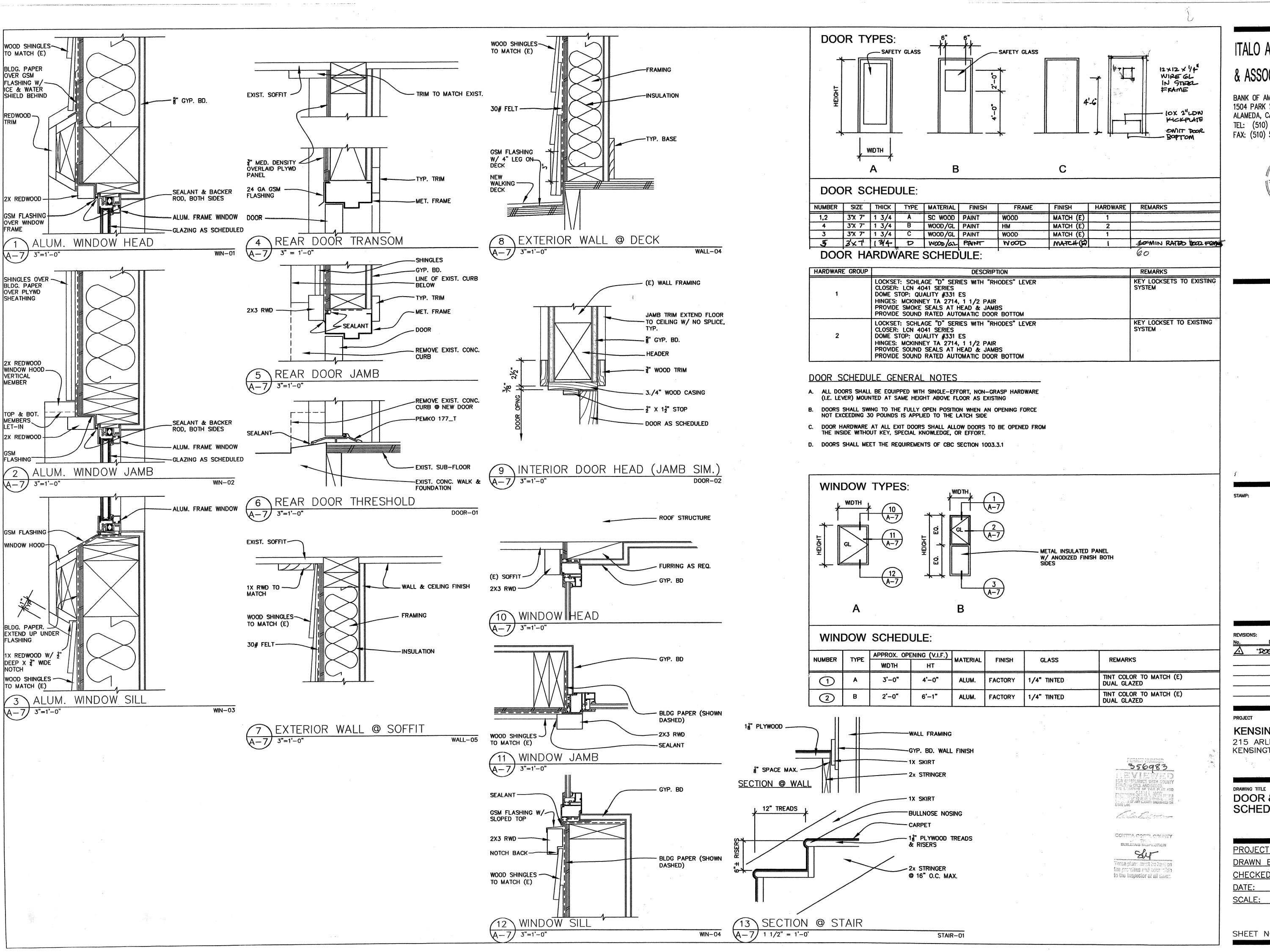
KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

DRAWING TITLE
INTERIOR ELEVATIONS

SHEET NO .:

PROJECT No. :	2324
DRAWN BY:	TJ
CHECKED BY:	IAC
DATE:	07-29-04
SCALE:	AS NOTED

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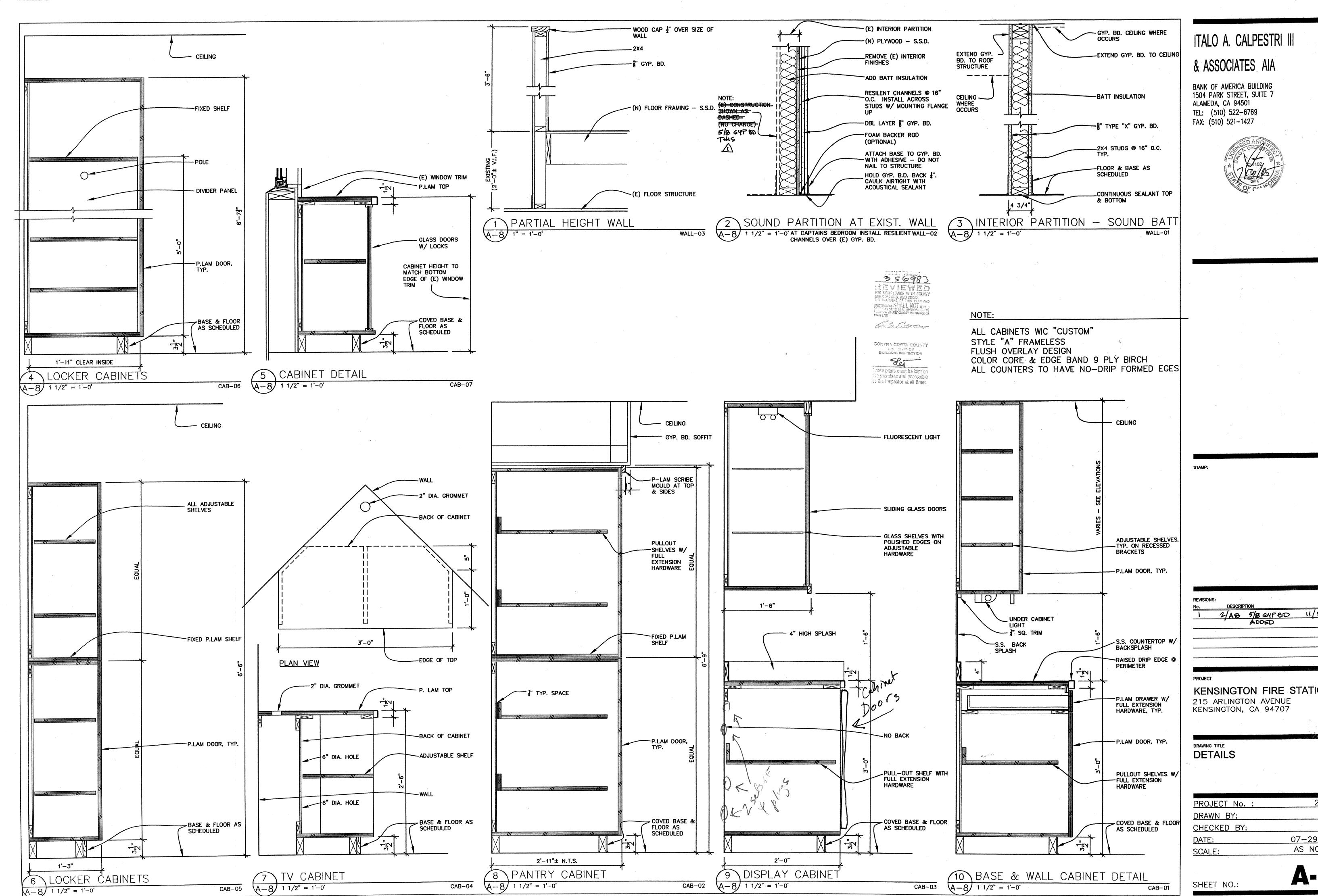


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KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

**DOOR & WINDOW** SCHEDULES, DETAILS

PROJECT No. :	2324
DRAWN BY:	TJ
CHECKED BY:	ı IAC
DATE:	07-29-04
SCALE:	AS NOTED



KENSINGTON FIRE STATION

2324 TJ IAC 07-29-04 AS NOTED

#### SCOPE OF WORK:

Enclose portion of existing second floor exterior deck into interior space for existing twostory, wood framed w/ steel beams & columns, essential facility fire station in Kensington, CA. Upgrade existing steel frame to 2001 CBC requirements for Ordinary Moment-Resisting Frame.

#### STRUCTURAL DESIGN CRITERIA

I. CODE: CALIFORNIA BUILDING CODE, 2001 Edition (CBC) and all applicable local building codes/ordinances.

#### II. DESIGN LOADS: Live Loads:

Roof = 20psfFloor = 50psfWind Loads:

Seismic load:

Dead Loads: Roof = 16.5psfFloor = 12psfBasic Wind Speed = 70 MPH., Exposure B, I = 1.15

Zone: 4, Seismic Source: Type A@<2km. Soil Type: SD Z=0.4, I=1.5, Ca=0.44Na, Na=1.5, R=5.5, V=0.45W For N-S Direction: R=4.5 for OMRF, V=0.55W For E-W Direction: R=5.5 for Plywood Shear Walls, V=0.45W

#### Allowable Soil Bearing Pressure = 1000psf per CBC, Chap. 18. Foundations:

#### III. REFERENCES:

- . Architectural dwgs by Italo Calpestri & Associates, dated 04/23/04. 2. Architectural & structural dwgs by Jeffries, Lyons & Hill Architects (JLH), dated 09/19/69.
- 3. Architectural & structural renovation dwgs by Marcy Li Wong, dated 08/17/98,

#### w/ structural calcs by Crosby Group, dated 09/98.

#### GENERAL NOTES

#### I. GENERAL

- 1. All work shall be in accordance with the California Building Code (CBC), 2001 Edition and all applicable local codes and ordinances.
- 2. Contractor shall verify all dimensions and existing field conditions. Discrepancies between drawings and field conditions, and/or omissions on the drawings requiring clarification or revision, shall be promptly brought to the attention of the Engineer before proceeding with work.
- 3. Do not scale drawings. All dimensions related to existing conditions shall be verified by the Contractor. Details not specifically shown shall be of same nature as other similar
- 4. The contractor shall notify the Engineer at least three days prior to each of the following events so that the Engineer may make the appropriate job site review:
- a. Prior to pouring any concrete (for reinforcing steel review of walls, piers and grade beams). b. Prior to enclosing any structural framing for review of anchor bolts & connection hardware. c. Prior to covering of plywood for nailing and plywood schedule review.
- 5. It is the Contractor's responsibility to raise and/or shore up existing structures for new work. Contractor shall provide adequate shoring system per applicable codes and ordinances during
- 6. Testing and special inspection shall be per CBC 2001 for embedded adhesive anchors.

#### II. FOUNDATION

- 1. Foundation footings shall bear on firm, undisturbed, native soils or engineered fills at or exceeding depth shown on drawing.
- 2. All footing excavations shall be neat. Over excavations in depth and width shall be filled with concrete. All loose soils shall be removed from excavations prior to placement of

#### III. CONCRETE

- Concrete work shall conform to ACI 318, latest edition.

Concrete strength	and mix requirem	nents:		
J	Compressive Strength (f c)		Slump	Sacks Cement Per cubic yard
Footings, Slabs & Grade Beams	2,500 psi	3/4"	4"	6

- 3 Concrete with strength of 3000 psi or more shall be tested in accordance with CBC. 4. Reinforcing steel shall conform to ASTM A615, Grade 40 for #4's or smaller, and Grade
- 60 for #5 or large. Steel shall be kept clean and free of rust scales. 5. Welded wire fabric shall conform to ASTM A185 and shall be lapped 9" minimum at
- 6. Minimum reinforcing steel cover requirements:
  - a. Cast against and exposed to earth ----- 3" b. Formed and exposed to earth or weather ---- 2"
- c. Walls, slabs or joist not exposed to earth or weather --- 3/4"
- d. Beams or columns which are not exposed to earth or weather --- 1-1/2" 7. Reinforcing bars shall be placed in as long lengths as possible. All reinforcing steel shall be "Cold Bent." Minimum bars lap shall be 40 bar diameters or 24" whichever is
- greater, unless otherwise noted. 8. Reinforcing, anchor bolts and inserts shall be rigidly held in place prior to placing
- 9. Non-shrink grout shall be "Five Star Grout" by U.S. Grout Co., or "Burke Non-ferrous,
- Non-shrink grout" or approved equal. 10. For concrete slab, provide crack control joints as shown on drawings. Unless other noted, provide at least 1/2" deep groove joint at every 400 square feet (or less) of concrete surface area. For retaining walls, provide construction joints with key way and waterstops as shown on drawing.

#### IV. CARPENTRY

- 1. All lumber shall be of Douglas Fir species, unless other noted.
- a. Light Framing and Studs: --- (2X4 thru 4X4) Standard or better.
- b. Structural Joists and Plank: ---- (2X5 thru 4X16) No. 2 or better. c. Beams and Stringers/Posts and Timbers: -(5X & thicker) - No. 1 or better.
- Lumber shall be of Douglas Fir species. 2. Wood in contact with concrete or exposed to weather shall be pressure treated
- Douglas Fir conforming to AWPB LP2. Wood embedded in concrete or earth shall be pressure treated conforming to AWPB LP22.
- 3. Nails shall be common wire nails except that nails used in exterior applications shall be aglyanized box nails. Pre-drill nail holes where wood tends to split.
- 4. Joist hangers, metal connectors and other miscellaneous timber connectors shall be per Simpson Co., San Leandro, California. Nail at all pre-drilled holes, per manufactures instructions, unless otherwise noted.
- 5. Machine bolts and anchor bolts shall conform to ASTM A307. Provide plate malleable iron washers under head and nut where bearing is against wood. Bolt holes in wood shall be 1/16" larger than bolt sizes, unless otherwise noted. Nuts shall be tightened when placed and retightened before closing in. For anchor bolts in sill plate for shearwall, provide 2.25"x2.25"x3/16" think plate washer under nut. For partition wall and non-bearing/shear walls, provide 3/8" diameter by 6" long galvanized anchor bolts with standard washers spaced at 4'-0" on center or use 0.125" shank self-driving fastening pins with 1" penetration into concrete spaced at 12" on center, minimum two bolts or pins.
- 6. Structural plywood shall conform to PS-1-83 of the American Plywood Association unless otherwise noted.
- Plywood sheathing nails shall be driven flush but shall not fracture the surface of the sheathing.
- 8. All nailing not specifically called out on plans shall be per table 23-II-B-1 of CBC. 9. All double plates shall be lapped a minimum of 4'-0" at splices with 16d nails at 16"o c. and 8-16d nails each end unless otherwise noted.
- 10 Provide double joists under all parallel partitions.
- 11. Headers for all interior walls/partitions and exterior non-bearing walls which are not specifically called out in plans shall be 4x10 minimum for span less than 4 feet and 4x12 for 8 feet maximum.

- 12. Glued-Laminated Beams:
  - a. Fabricate glued-laminated structural members in accordance with "American Institute of Timber Construction" (AITC) 117.
- b. Use Architectural grade in appearance at all locations.
- c. Glued-laminated combination shall be 24F-V4, simple span. Fb=2400 psi., Fv=190 psi., E=2.000,000psi, manufactered by "Weverhauser" Hayward, CA, or approved equal. d. A coat of end sealer shall be applied to the ends of all members as soon as
- practicable after end trimming. Surfaces of members shall be sealed with sealer coat. 13. Other Engineered Lumber:
- a. Parallel Strand Lumber shall be Parallam 2.0E PSL shall be manufactured by Trus Joist Macmillian (ICBO#: ER4979) with the following properties: E=2.000,000psi., Fb=2900psi. Fy=2900psi., & Ft=2025psi. Store and install all Parallam members in accordance with manufacturer's requirements and recommendations.
- b. TJI Joist shall be manufactured by Trus Joist Macmillian or approved equal Store and install all TJI Joist members in accordance to manufacturer's requirements and recommendations.
- c. Timberstrand LSL rim board shall be manufactured by Trus Joist Macmillian or approved equal Store and install all Timberstrand LSL members in accordance to manufacturer's requirements and recommendations.

#### 14. Roof and floor sheathing:

		Plywood thickness	Spain Rating	Grade	Boundary	Nailing edges	Field	Allowable Shear (plf)
R	oof	1/2"	24/16	CDX	8d@4"o.c.	8d@4"o.c.	8d@10"o.c.	320
(i	E) Floor	3/4"	40/20	T&G	10d@4"o.c.	10d <b>@</b> 4"o.c.	10d@10"o.c.	425
(1	N) Floor	3/4"	40/20	T&G	10d@4"o.c.*	10d@4"o.c.*	10d@10"o.c.*	425

- \* Note substitute #10x4" long wood screws for nails into (N) plywood over (E) decking, u.o.n.
- a. Exposure Durability Classification for all plywood roof and floor sheathing shall be
- Exposure 1 or CD-X grade. b. Panel edge blocking shall be provided at all plywood panel edges. Use 2X4 flat blocking at roof. use 2X(full depth of joist) blocking @ floor. 2" nominal flat blocking may be substituted for full depth blocking only upon approval of Engineer.

#### 15 Wall Sheathing:

ο.	Wall Sheathii Design— ation	ng: Plywood thickness	Grade	Edge Nailing	Anchor Bolt Sizes & Spacing	Allowable Shear (plf)
	<b>(A)</b> *	3/8"	CD-X	8d@4"O.C.	5/8"øX12"@48"0.C. W/2x SILL R. U.O.N.	350
	<u> </u>	1/2"	CD-X	10d@4"0.C.	5/8"øX12"@24"0.C. W/3x SILL P. U.O.N.	460
	(C)	1/2"	CD-X	10d@6"0.C.	5/8"øX12"@32"O.C. W/2x SILL P., U.O.N.	310
	Ō	1/2"	CD-X	10d@3"0.C.	5/8"øX12"@24"O.C. W/3x SILL P., U.O.N.	600
				A ***		

- \* Note: existing wall sheathing & nailing.
- a. Exposure Durability Classification for all plywood wall sheathing shall be Exposure 1 b. Full depth blocking shall be provided at all plywood panel edges. Match blocking width to normal stud width.
- c. Field nail @ 12" O.C. Maximum. Nail size shall match size required for edge nailing.
- d. Embed anchor bolts a minimum of 7" into concrete unless otherwise noted.
- e. Where allowable shear in shearwall exceeds 350 PLF or with nailing spacing equal to
- or less than 3" O.C., provide 3x studs @ abutting panel edges.
- f. See Architectural drawings and structural details for other requirements.

#### V. STEEL

- 1. Structural steel, including plates, bars and shapes shall conform to ASTM A36 steel.
- 2. Structural steel pipes shall conform to ASTM A53 steel. Type E. Grade B steel.
- 3. Structural steel tubing shall conform to ASTM A500, Grade B steel.
- 4. Welding rods shall be E70XX electrodes. Provide backer bars for full penetration welds. Remove backer bars and excess welds as required for all framing to be exposed for aesthetic requirements. All penetration welds shall be inspected by a certified welding inspector per AWS, latest edition. Fillet welds performed in field shall be periodically inspected by a certified welding inspector per AWS.
- 5. All machine bolts shall be ASTM A307 Bolts. All bolts for moment connections shall be A325 type N high strength bolts. Minimum bolt diameter shall be 5/8" for A307 bolts and 3/4" for high strength bolts unless otherwise noted on plans.
- 6. All steel exposed to weather shall be hot-dipped galyanized.
- 7. Hot dipped galvanized all steel when exposure to weather.

## **LEGEND**

<u> </u>	SHEAR WALL, SEE GENERAL NOTE FOR PLYWOOD & NAILING SCHEDULE
Ø	4x4 WOOD POST, U.O.N.
н	STEEL COLUMN

MOMENT CONNECTION

4x4 WOOD POST ABOVE, U.O.N.

CONCRETE PIER

#### Structural Steel/Welding: SPECIAL INSPECTION AND TESTING SCHEDULE \_\_\_\_ Sample and Tests (List specific members below) Shop Material Identification Reinforced Concrete, Gunite, Grout and Mortar: ✓ Welding Inspection \_\_\_\_\_ Shop \_\_\_\_ Field Gunite Grout Mortar Concrete \_\_\_\_ Ultrasonic Inspection \_\_\_\_ Field \_\_\_\_ Shop Aggregate Tests \_\_\_\_ High-Strength Bolting Inspection \_\_\_\_ Shop Reinforcing Tests ☐ A325 Mix Designs (Review By Engineer) □ A490 □ N □ X □ F Reinforcing Placement \_\_\_\_ Metal Deck Welding Inspection Batch Plant Inspection \_\_\_\_ Reinforcing Steel Welding Inspection Inspect Placing \_\_\_\_ Metal Stud Welding Inspection Cast Samples \_\_\_\_ Concrete Inset Welding Inspection Pick-up Samples Compression Tests Fireproofing: \_\_\_\_ Placement Inspection Precast/Prestressed Concrete: \_\_\_\_ Density Tests Post-Tens Pre-Tens Cladding \_\_\_\_ Thickness Tests \_\_\_\_ Inspect Batching Aggregate Tests Reinforcing Tests Tendon Tests Insulating Concrete: Mix Designs \_\_\_\_ Sample and Test Reinforcing placement \_\_\_\_ Placement Inspection Insert Placement \_\_\_\_ Unit Weights Concrete Batchina Concrete Placement Installation Inspection Fill Material: Cast Samples \_\_\_\_ Acceptance Tests Compression Tests \_\_\_\_ Placement Inspection \_\_\_\_ Field Density Structural Masonry: Structural Wood: Special Inspection Stresses Used Preliminary Acceptance Tests (Masonry Units, Wall Prisms) Shear Wall Nailing Inspection Subsequent Test (Mortar, Grout, Field Wall Prisms) \_\_\_\_ Inspection of Glu-lam Fab. \_\_\_\_ Placement Inspection of Units \_\_\_\_ Sample and Test Components **Embedded Adhesive Anchor:** ✓ Visual Inspection of Placement —— Pull Test **ABBREVIATION** SOUTH SEE ARCHITECTURAL DRAWINGS **HOLDOWN** PENNY (NAIL) S.A.D. HDR. HEADER AND HORIZ. S.C. S.C.D. SOLID CORE **HORIZONTAL** SEE CIVIL DRAWINGS HR. HOUR DIAMETER, ROUND SCH. **SCHEDULE** HT. HEIGHT PARALLEL SECT. S.E.D. H.S.B. HIGH STRENGTH BOLT SECTION PERPENDICULAR SEE ELECTRICAL DRAWINGS POUND, NUMBER I.D. INSIDE DIAMETER S.F. SHT. SQUARE FOOT, SQUARE FEET INSUL. INSULATION ANCHOR BOLT INT. INTERIOR SHTG. **SHEATHING** A.C. ASPHALTIC CONCRETE INTERM. INTERMEDIATE SIMILAR AGGR. **AGGREGATE** SEE LANDSCAPE DRAWINGS APPROX. **APPROXIMATE** J.H. JOIST HANGER S.M. SHEET METAL ARCHITECT JST. JOIST S.M.D. SEE MECHANICAL DRAWINGS **JOINT** SPECIFICATION **BETWEEN** S.P.R. SINGLE-PLY ROOFING LONG BOARD SQ. SQUARE BLDG. **BUILDING** LT. LIGHT S.S. STAINLESS STEEL BLKG. BLOCKING MAX. S.S.D. SEE STRUCTURAL DRAWINGS BM. MAXIMUM M.B. MACHINE BOLT BN STA. STATION **BOUNDARY NAILING** MFR. **MANUFACTURER** STANDARD STD. BOT. BOTTOM MIN. MINIMUM STL. STEEL MISC. MTL. C.I.P. **MISCELLANEOUS** CAST IN-PLACE STOR. STORAGE CONTROL JOINT STRUCT. STRUCTURAL CENTER LINE **SUSPENDED** O.A. OBSC. SYM. CLEAR **OVERALL** SYMMETRICAL COL. OBSCURE COLUMN 0.C. ON CENTER CONC. CONCRETE T & B TOP & BOTTOM O.C.E.W. ON CENTER EACH WAY C.M.U. CONCRETE MASONRY UNIT T.C. TOP OF CURB OVERFLOW DRAIN CONN. CONNECTION T.O.C. TOP OF CONCRETE 0.D. **OUTSIDE DIAMETER** CONST. CONSTRUCTION TEL. TELEPHONE 0.F.C.I. OWNER FURNISHED CONTRACTOR CONTINUOUS TFMP. **TEMPERED** NSTALLED 0FF. 0.F.S. T & G OFFICE TONGUE AND GROOVE DEMO. DEMOLISH OUTSIDE FACE OF STUD THK. DET. 0.H. DFTAIL OVERHEAD THR. **THRESHOLD** D.F. DOUGLAS FIR OPNG. OPENING T.O. TOP OF DIA. DIAMETER OPP **OPPOSITE** T.O.S. TOP OF STEFL DIAG. OPP.HD DIAGONAL OPPOSITE HAND T.O.W. TOP OF WALL DIM. **DIMENSION** T.R. THREADED ROD DN DOWN **TRANSF** TRANSFORMER DR DOOR N.T.S. NOT TO SCALE DWG TYP. TYPICAL DRAWING UNF. UNFINISHED **EXISTING** P. LAM. PLASTIC LAMINATE EACH U.O.N. UNLESS OTHERWISE NOTED PLAS. PLASTER E.J. **EXPANSION JOINT** PLB PLYWD. PARALLAM BEAM ELECT. ELECTRICAL VERT. **PLYWOOD VERTICAL** EL. **ELEVATION** VEST. **VESTIBULE** PR. **EDGE NAILING** V.I.F. **PRCST** VERIFY IN FIELD PRECAST EQUAL PREFAB. PRE-FABRICATED EQUIP. **EQUIPMENT** PT. PINT, POINT WIDE E.W. EACH WAY PTD PAINTED WEST EXT. EXTERIOR PTDF PRESSURE TREATED DOUGLAS FIR WITH PTN. PART. PARTITION WROUGHT IRON **FOUNDATION** WD. WOOD F.F. FINISH FLOOR W.O. WHERE OCCURS **RADIUS** FIN FINISH. FINISHED 356983 W/O WITHOUT RISER F.J. FLOOR JOSIT DESIGN WORKING POINT REMOVE FLR. PERMIT NUMBER **FLOOR** ROOF DRAIN WATERPROOF F.0. FACE OF REFERENCE WATER RESISTANT F.0.S. FACE OF STUDS R.B. REVIEWED RUBBER BASE W.S. WOOD SCREW FRMG. FRAMING RDWD. REDWOOD WSCT. WAINSCOT FT. FOOT, FEET REINF. REINFORCED **WSHR** WASHER FTG. FOOTING REQ'D REQUIRED WEIGHT RESIL. **RESILIENT** W.W.F. GA. WELDED WIRE FABRIC GAUGE RET. RETAINING GALV. GALVANIZED Edde Laborar REV. REVISION, REVISED G.B. GRADE BEAM RM. GENERAL GLU-LAM BEAM R.O. ROUGH OPENING CONTRA COSTA COUNTY R.W.L. RAIN WATER LEADER GYPSUM WALL BOARD BUILDING INSPECTION G.I. GALVANIZED IRON 54 GR. GRADE

GYPSUM

BASELINE

ENGINEERING

Civil & Structural Engineering

Design, Planning & Investigation

1504 Park Street, Suite 8

Alameda CA 94501

Tel. 510-865-4623

Fax. 510-865-4704

NAME OF PROJECT

**Kensington Fire** 

Station/Public Safety

**Building Renovation** 

215 Arlington Ave.

Kensington, CA

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Revision /Issue

BUILDING PERMIT

3 REVISED FOR BUILDING PERMIT 07-27-04

CLIENT REVIEW

PROJECT No. :

DRAWN BY :

CHECK BY :

DATE:

SCALE :

Date

05-14-04

06-21-04

040101

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**GENERAL NOTES. LEGEND** 

DRAWING No.

SHEET 1 OF 6

**SPECIAL INSPECTION &** 

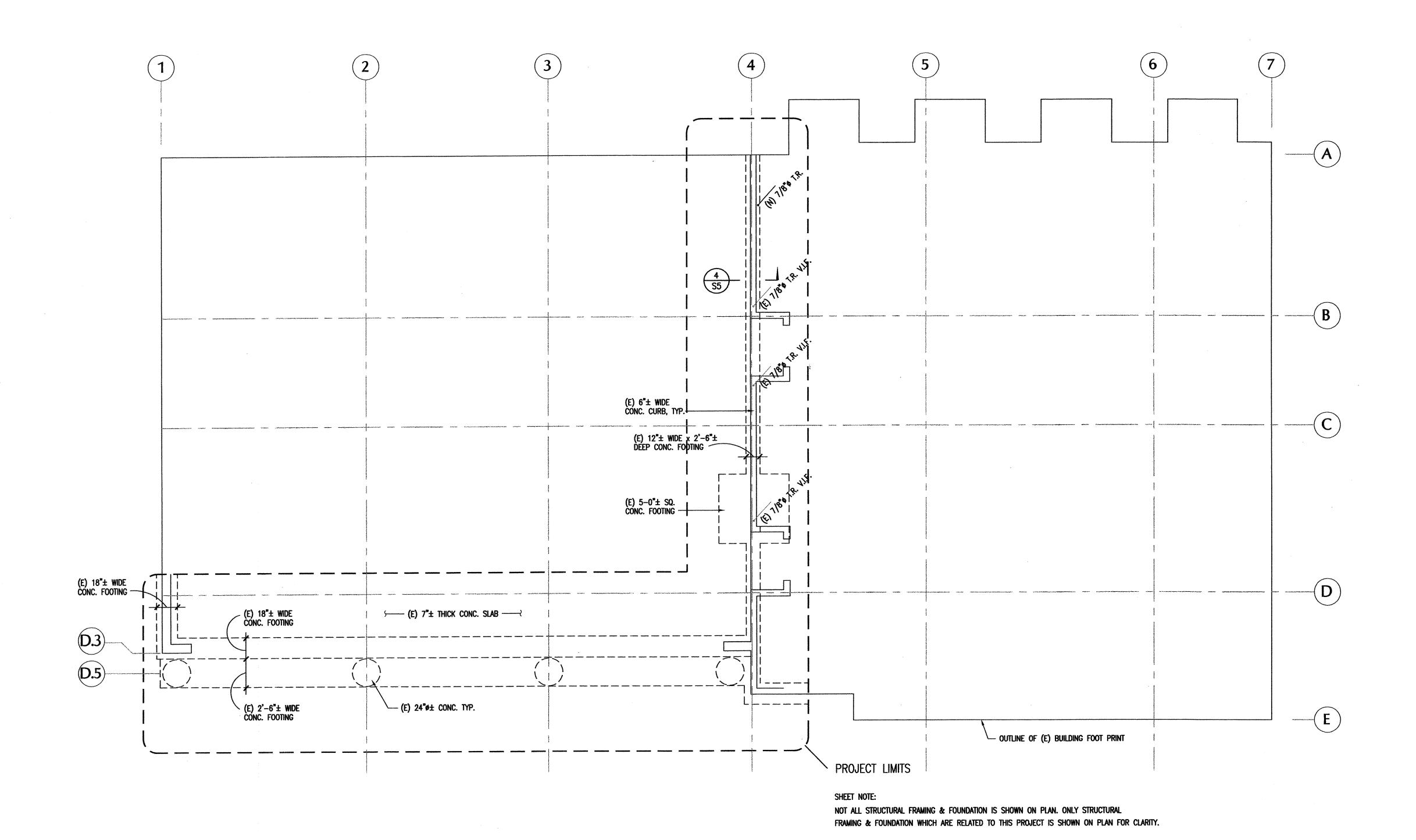
TESTING SCHEDULE, &

**ABBREVIATIONS** 

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PARTIAL FOUNDATION PLAN

SCALE 1/4" = 1'-0"

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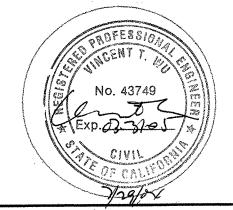
Kensington Fire
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215 Arlington Ave.
Kensington, CA

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1	CLIENT REVIEW	05-14-0
2	BUILDING PERMIT	06-21-0
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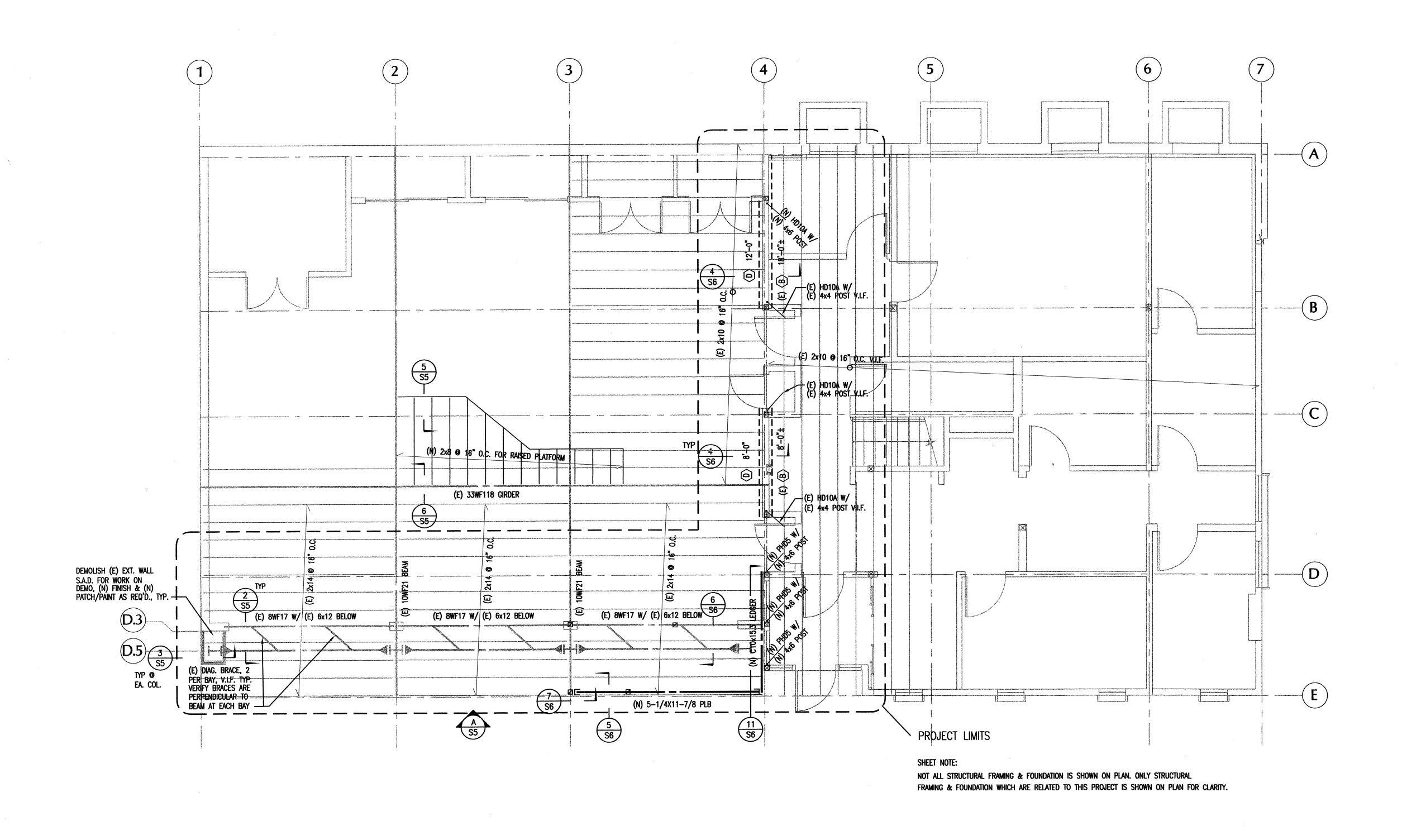
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SHEET 2 OF 6



PARTIAL 2ND FLOOR FRAMING/1ST FLOOR PLAN

SCALE 1/4" = 1'-0"

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Kensington, CA

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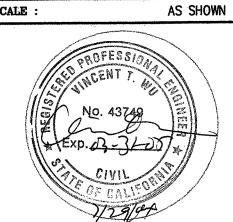
2 BUILDING PERMIT 06-21-04
3 REVISED FOR BUILDING PERMIT 07-27-04

 PROJECT No. :
 040101

 DRAWN BY :
 SW

 CHECK BY :
 VTW

 DATE :
 06-21-04



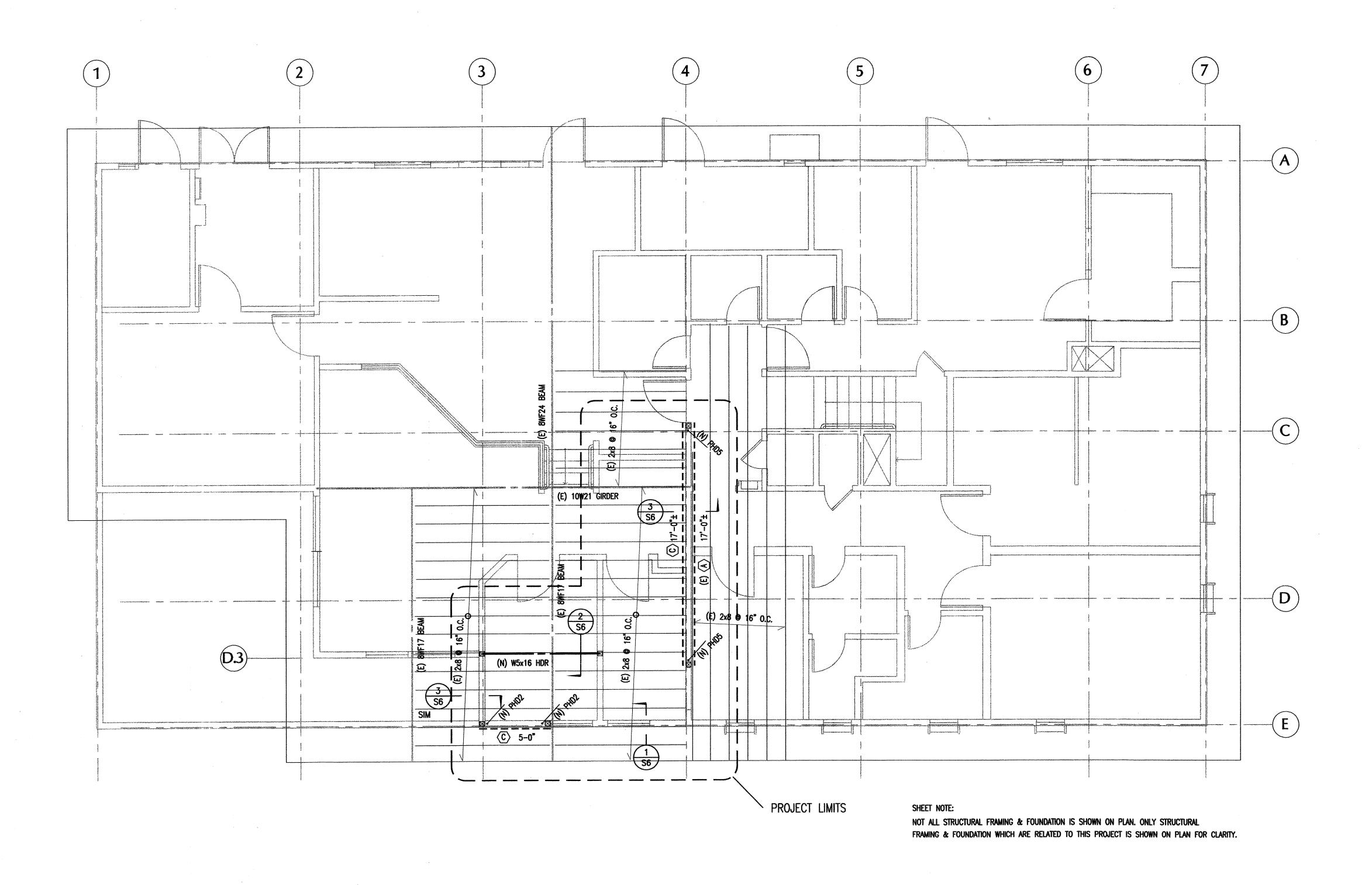
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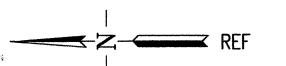
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SHEET 3 OF 6



PARTIAL ROOF FRAMING/2ND FLOOR PLAN



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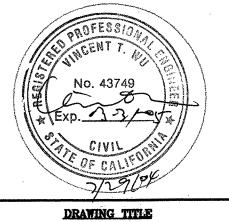
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**CONSULTANTS:** 

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1	CLIENT REVIEW	05-14-
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3	REVISED FOR BUILDING PERMIT	07-27-

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PARTIAL ROOF
FRAMING/2ND FLOOR
PLAN

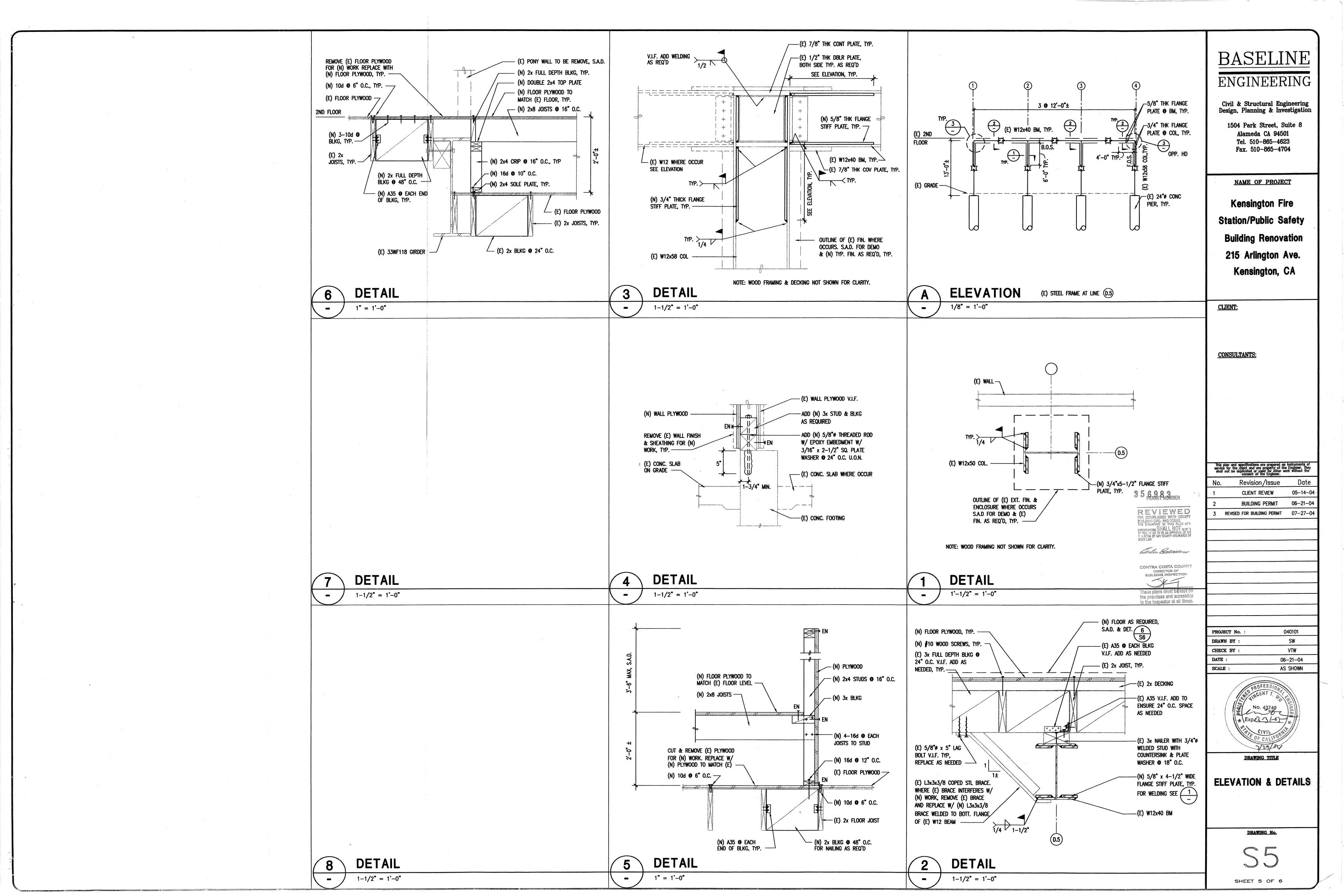
DRAWING No.

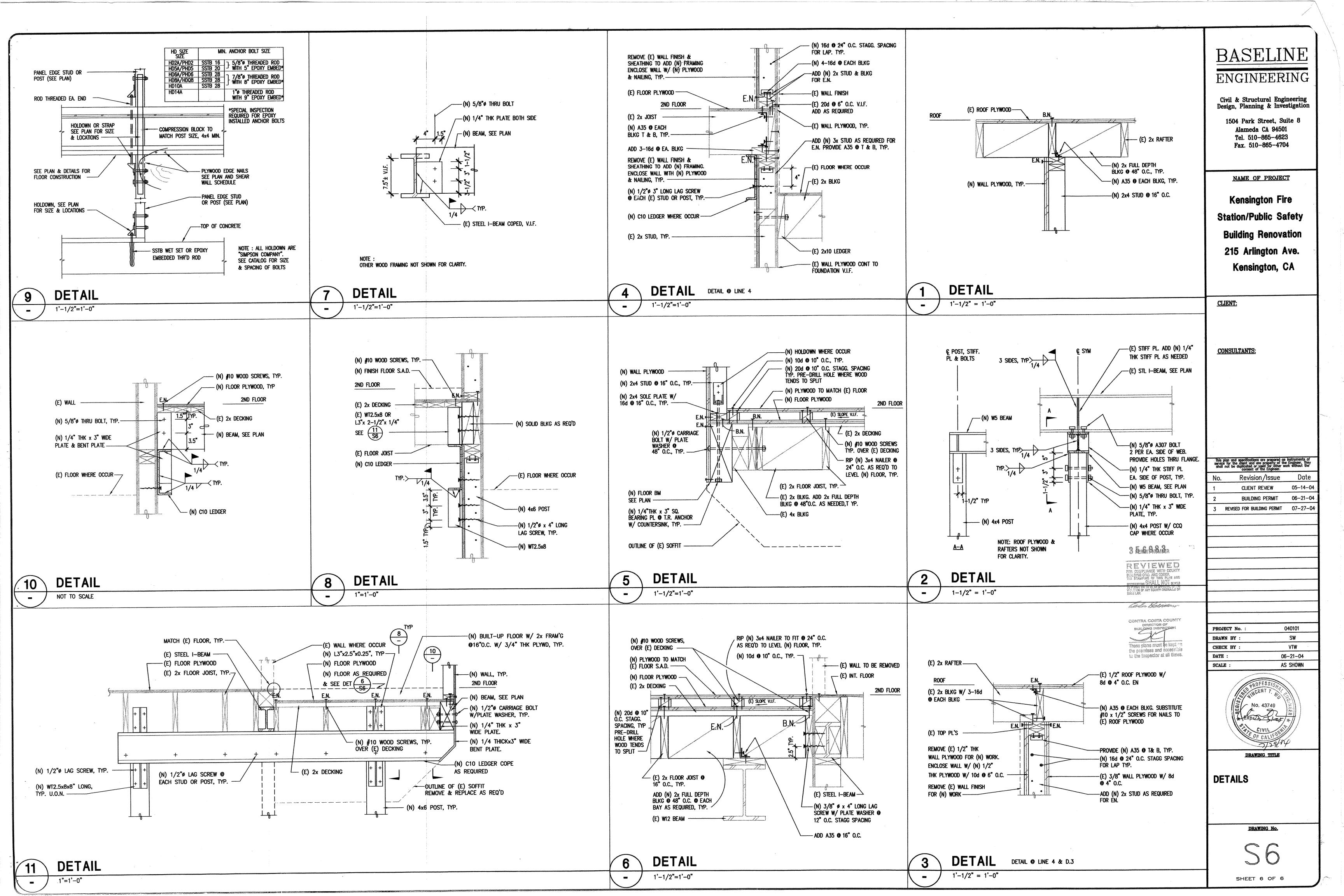
S4

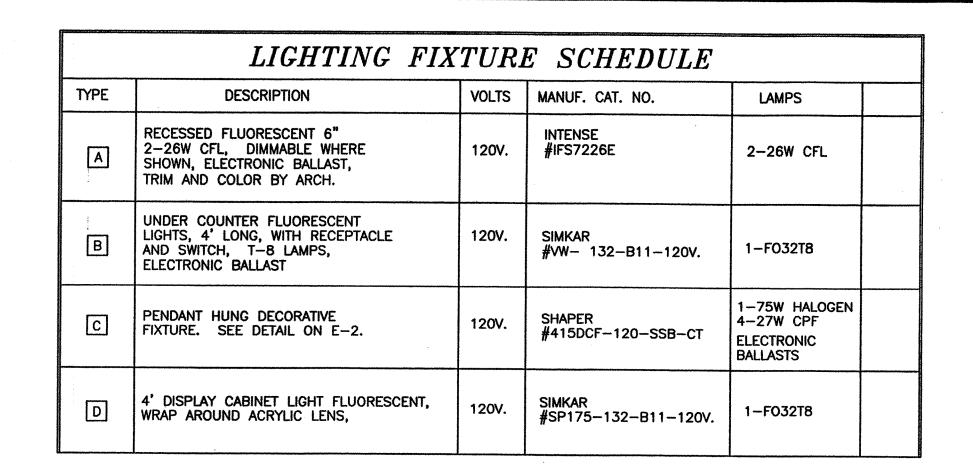
SHEET 4 OF 6

CONTRA COSTA COUNTY DIRECTOR OF BUILD BRECTOR OF BUILD BR

356983 PERMIT NUMBER







#### FIXTURE SCHEDULE NOTES:

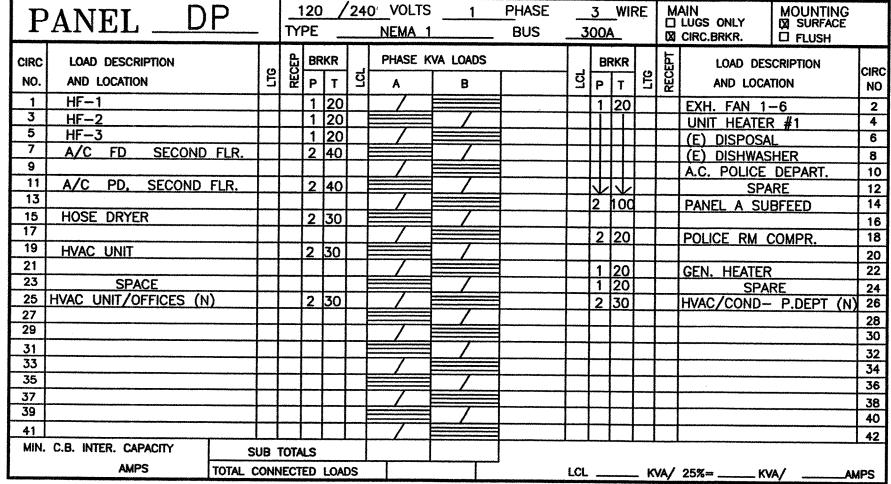
- 1. EXTERIOR FLUORESCENT FIXTURES TO HAVE DAMP LOCATION LABEL.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICT OF LIGHT FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, ETC. PRIOR TO ROUGH-IN.
- 3. CENTER DOWNLIGHT/WALLWASHER FIXTURES IN CEILING TILES (UON).
- 4. LOCATE LIGHT FIXTURES TO MISS SPRINKLER HEADS BY 12" MIN.
- 5. VERIFY CEILING TYPES PRIOR TO ORDERING FIXTURES.
- 6. VOLTAGES AS NOTED ON SCHEDULE OR ON PLANS.

#### CITY/COUNTY NOTES:

- ALL EQUIPMENT SHALL BE LISTED BY AND BE APPROVED BY A TESTING LABORATORY AND SHALL BE INSTALLED AS PER ANY INSTRUCTIONS INCLUDED IN THE LISTING AND LABELING.
- PENETRATIONS OF FIRE RATED WALLS, CEILINGS OR FLOORS, SHALL COMPLY WITH U.B.C. REQUIREMENTS.
- ALL CONTROL DEVICES TO BE USED BY THE OCCUPANT OF THE ROOM OR AREA SHALL BE INSTALLED AT A MINIMUM OF 36-48" FROM FINISHED FLOOR. THIS INCLUDES THERMOSTATS UNLESS COVERED WITH A LOCKING COVER.
- 4. ALL RECEPTACLE OUTLETS SHALL BE INSTALLED AT A MINIMUM HEIGHT OF 15" ABOVE FINISHED FLOOR, PER CITY. (TO C.L. OF OUTLET).

	ZIIIDOID DIOI
<b>+</b>	RECESSED LIGHT FIXTURE
Lawrence Lawrence	COVE LIGHT OR UNDER COUNTER
	RECESSED OR SURFACE MOUNTED ELECTRICAL PANEL AS SHOWN SEE PANEL SCHEDULES FOR AMPS, VOLTS, PHASE, MOUNTING, ETC MAINTAIN 36" CLEAR IN FRONT FOR 120/208V PANELS; 42" CLEAR FOR 277/480V. (30" WIDTH CLEAR ACROSS FRONT AND 6.5' OF HEADROOM) N.E.C. ART 110-16.
<b>⊖</b> <sub>GFI</sub>	DUPLEX RECEPTACLE 1P20A, G.F.C.I. RATING, HEIGHT AS NOTED, MATCHING OUTLET AND COVERPLATE, PER ARCHITECT. 20A. 120V. FEED THRU FEATURE. +15" UON.
⊕	DUPLEX RECEPTACLE 1P20A +15" UON, VERIFY COLOR OF OUTLET AND COVERPLATE. 125V GROUNDED NEMA 5-20, HUBBELL OR EQUAL. (FLUSH MOUNTED) COMMERCIAL GRADE. UON.
<b>(</b>	JUNCTION BOX- CEILING; WALL MOUNTED. ACCESSIBLE IN ALL LOCATION
D. (	DEDICATED 1P20A RECEPTACLE - HT. AS NOTED. (FLUSH MOUNTED)
$\triangleright$	DATA/PHONE OUTLET +15"CONDUIT AND WIRE BY
	C.A.T.V. OUTLET +15"  TEL, CABLE CONTRACTOR.
M	MOTOR OUTLET AND CONNECTION TO MOTOR
<b>\$</b> .	WALL MOUNTED SWITCH, 1P20A SPST, +48" UON. FLUSH MOUNTED IN FINISHED AREAS. COLOR OF OUTLET AND COVERPLATE PER ARCHITECT.
<del>-</del>  +→	BRANCH CIRCUIT HOMERUN TO PANEL. 2#12, 1/2"C. MIN. ADDITIONAL CONDUCTORS AS INDICATED.
<del>  </del>	BRANCH CIRCUIT RACEWAY, 3#12, 1/2"C. INDICATED. ADDITIONAL CONDUCTORS AS INDICATED.
A	LIGHTING FIXTURE TAG- SEE FIXTURE SCHEDULE
U.O.N.	UNLESS OTHERWISE NOTED
(E)	EXISTING
(N)	NEW
D	DEDICATED
G.F.I.	GROUND FAULT INTERRUPTER
WP.	WEATHERPROOF
C.	CONDUIT
G.	GROUND
CU.	COPPER
V.	VOLTAGE
EF	EXHAUST FAN
P.	POLE

SYMBOLS LIST



\* REMOVE DOUBLE LUGING AND SPLICE TO MEET CODE.

MAIN

LUGS ONLY

CIRC.BRKR.

120 / 208 VOLTS

읍 BRKR

SUB TOTALS

TOTAL CONNECTED LOADS

LOAD DESCRIPTION

7 REC- KITCHEN 1ST FLR.
9 REFRIG-KITCH. 1ST FLR.
11 LTS- CONFERENCE ROOM
13 LTS- DAY ROOM

/

21 2ND FLR. BATH AND DORM

23 REC- OFFICE AND CONFER.

25 REC- DAY ROOM/ T.V.

\* REMOVE DOUBLE LUGING AND SPLICE TO MEET CODE.

15 LTS- KITCHEN, 2ND FLR.
17 ROOF EXHAUST FAN

AND LOCATION

1 CORD REELS
3 MICROWAVE (N)

19 LTS- EXTERIOR

27 SQUAD ROOM 29 DARK ROOM AND HALL

31 PARKING LOT LIGHTING

33 REC- KITCHEN (N)
35 REC- DAY ROOM (N)
37 REC- KITCHEN (N)
39 REC- KITCHEN (N)
41 COFFEE MAKER (N)

MIN. C.B. INTER. CAPACITY

5 COPIER

NEMA 1

PHASE KVA LOADS

PHASE

BUS

\_225A

ALL EXISTING EXCEPT AS NOTED.

MOUNTING SURFACE

LOAD DESCRIPTION

AND LOCATION

1 20 PLUGMOLD— TRAIN RM. 2
DISPOSAL, KIT. FIRST 4

LTS- KITCHEN 6
REC- BRENDA OFFICE 8
REC- ROOF 10

LTS- DAY ROOM

LTS- FIRST FLOOR

REC- RM 111, 108

A.D.P. BAY

A.D.P. BAY

32

A.D.P. BAY

34

PARAMEDIC (N)

56

FAX/DISP/COPIER

38

LTS- OFFICE AND HALL

40

REC- POLICE CHIEF

42

LCL \_\_\_\_\_ KVA/ 25%= \_\_\_\_ KVA/ \_\_

LTS- ADP. BAY

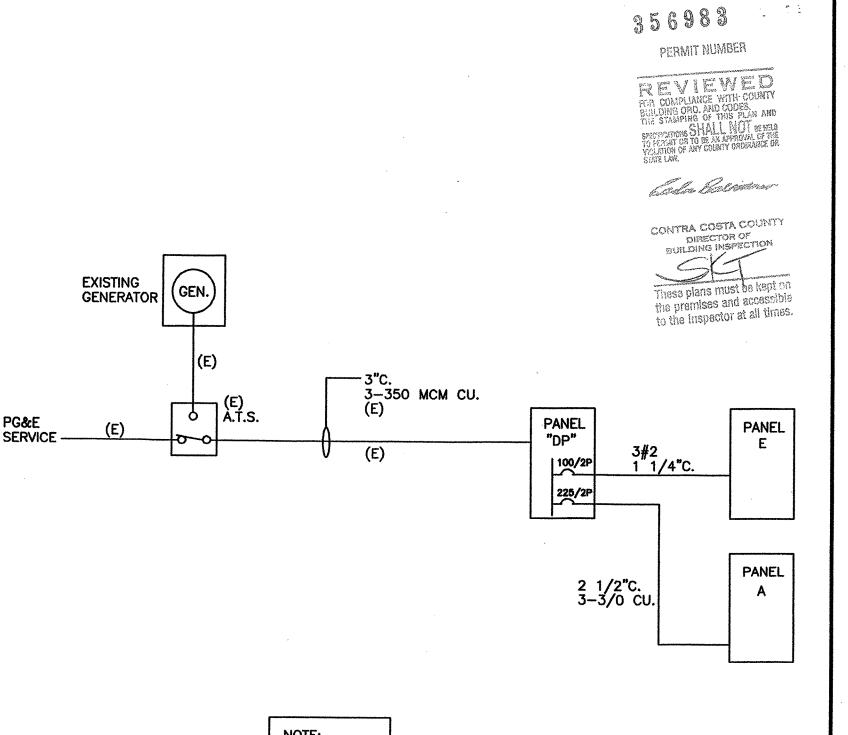
RM 103

MISC. MISC.

ALL EXISTING EXCEPT AS NOTED.

P	ANEL E (E)			120 PE	<u></u>	/24	O VOLT	***************************************	PHASE BUS		<u>3</u> 00	_WII	RE	(3)	AIN LUGS ONLY CIRC.BRKR.  MOUNTING SURFACE FLUSH	
CIRC	LOAD DESCRIPTION	٥	RECEP	BF	KR	┨_	· •	KVA LOADS			Bf	RKR	,	RECEPT	LOAD DESCRIPTION	CIF
NO.	AND LOCATION	15	쮼	Р	T	] 💆	A	В		걸	Р	Т	57	E E	AND LOCATION	N
1	OVERHEAD DOOR			1	20	Т	17				1	20			REC- EXISTING	1 2
3	OVERHEAD DOOR			П	П						Т	П			MISC. EQUIPMENT	1 4
5	PLUGMOLD—TRAINING RM.											П			MISC. EQUIPMENT	6
7	REC- TELEPHONE			Ш	Ш				·			П			CONTROL S.V.	ε
9	LTS- SECOND FLOOR			Щ	Ш	L									LTS- S.V. 1ST 111-20	0 1
11	REFER, EVIDENCE 1ST.			Щ	Ш	<u> </u>		<b></b> _	<u> </u>						FIRE ALARM PANEL	1
13	BATTERY CHARGER			-	4	<u> </u>					业	业			REC- RECEPTION	1
15 17	E.C. FIRE LINE	-		╙	╀	<u> </u>					2	30			EXHAUST SYSTEM	1
19	CONTROL	-		$\Psi$	业	<b> </b> _										1
21		-		<u> </u>	<del> </del>	┡	<del>                                     </del>									12
23		+		├-	<u> </u>	╀										2
25	-	+		_	├─	╁	7	1	<del> </del>	-			$\vdash$			12
27		+-		-	╫	┢		<del>                                     </del>	1	$\vdash$			$\vdash$			2
29				_	╁	一	7		<b>-</b>	$\vdash$						3
31		1		-	<del>                                     </del>	一				$\vdash$			$\vdash$			
33					<del>                                     </del>	T	7				_					3
35						T										3
37						l	7			$\Box$			$\neg$	_		130
39								7								4
41										П						4:
MIN.	C.B. INTER. CAPACITY	SUB '	TOTA	LS							į					
	AMPS TOTAL	CONN	JECT.	FO	1.04	ns			<b>-</b>	I CI			1/1	/A /	25%=KVA/	MPS

ALL EXISTING EXCEPT AS NOTED.



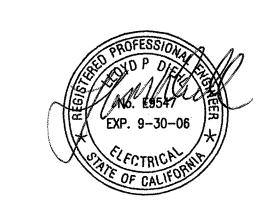
ALL EXISTING.

SINGLE LINE DIAGRAM

ITALO A. CALPESTRI III & ASSOCIATES AIA

BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427

> LLOYD P. DIEHL, PE. BUS:(925)672-0969 FAX:(925)672-4974 CONCORD, CA 94524



REVISIONS:		
No.	DESCRIPTION	DA*

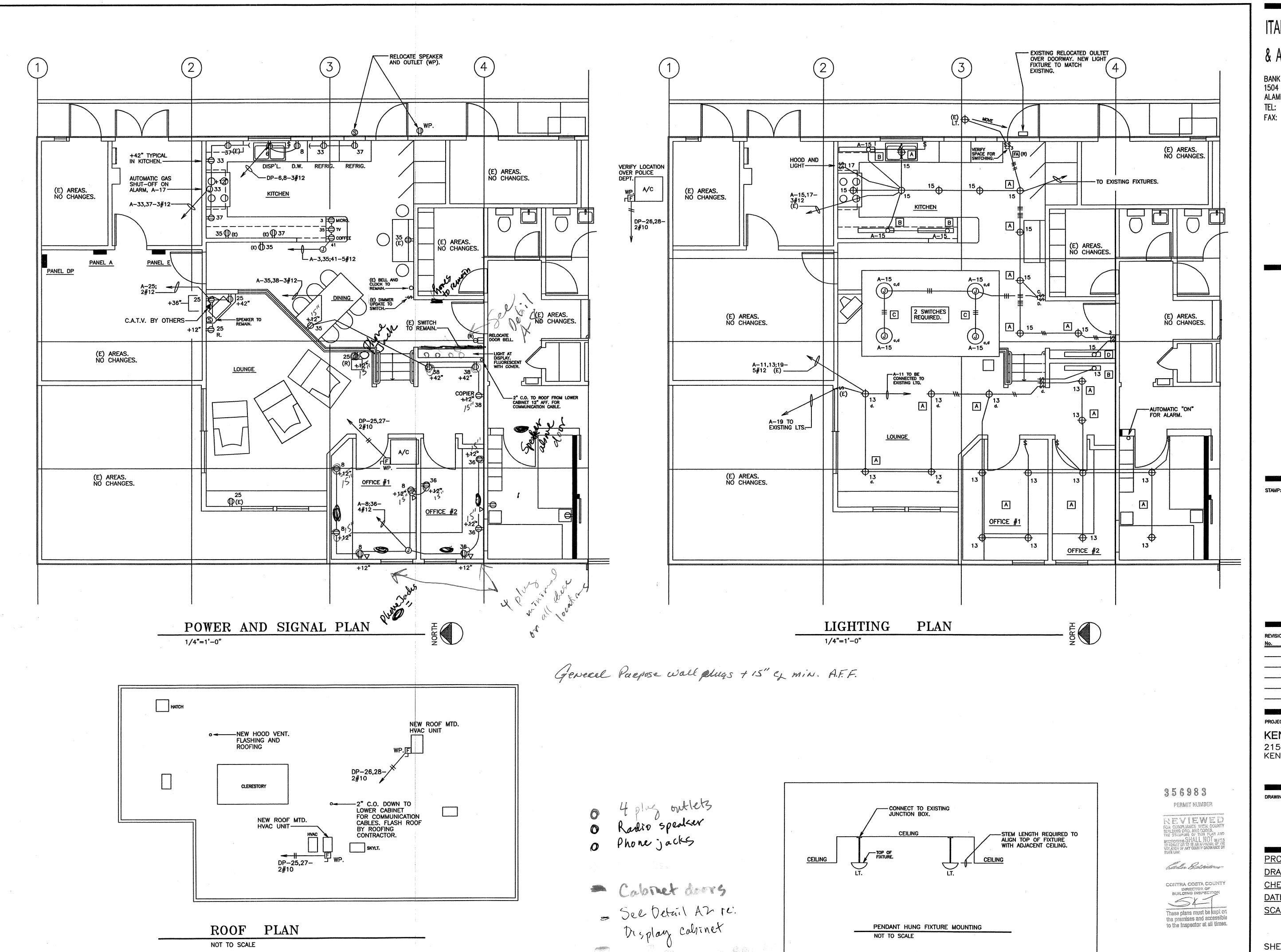
KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

DRAWING TITLE

SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE, COUNTY NOTES, PANELS, SINGLE LINE DIAGRAM,

	1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1 1
PROJECT No. :	
DRAWN BY:	LLOYD DIEHL
CHECKED BY:	LLOYD DIEHL
DATE:	6-2-2004
SCALE:	AS NOTED

E-



ROOF PLAN

NOT TO SCALE

ITALO A. CALPESTRI III & ASSOCIATES AIA

BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427



REVISIONS		
No.	DESCRIPTION	DA'
***************************************		

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

SHEET NO .:

PENDANT HUNG FIXTURE MOUNTING

POWER, SIGNAL AND LIGHTING PLAN

LOYD DIEHL
LOYD DIEHL
6-2-2004
AS NOTED

E-2

CERTIFICATE OF COMPLIANCE- LTG.	PART 1 OF 2 LTG-1
PROJECT NAME  KENSINGTON FIRE STATION	DATE 4-26-04
PROJECT ADDRESS	BLDG PERMIT #
215 ARLINGTON AVENUE, KENSINGTON, CALIF. 94707	DEDG FERMIT #
PRINCIPAL DESIGNER-LIGHTING LLOYD DIEHL TELEPHONE 925-672-0	969
DOCUMENTATION AUTHOR TELEPHONE	CHECKED BY/DATE
LLOYD DIEHL 925-672-09	969
GENERAL INFORMATION	
DATE OF PLANS  4-26-04  BUILDING CONDITIONED FLOOR AREA  925 SQ.FT.	CLIMATE ZONE
BUILDING TYPE X NON RESIDENTIAL HIGH RISE RESIDENTIAL	HOTEL/MOTEL GUEST ROOF
PHASE OF CONSTRUCTION X NEW CONSTRUCTION ADDITION ALTERATION	UNCONDITIONED
METHOD OF LTG. COMPLIANCE COMPLETE BUILDING X AREA CATAGORY TAIL	ORED PERFORMANCE
STATEMENT OF COMPLIANCE	
THIS CERTIFICATE OF COMPLIANCE LISTS THE BUILDING FEATURES AND PERFORMANCE SPECIFICATION TITLE 24, PARTS 1 AND 6 OF THE CALIFORNIA CODE OF REGULATIONS. THIS CERTIFICATE APPLIES REQUIREMENTS.	NS NEEDED TO COMPLY WITH ONLY TO BUILDING LIGHTING
THE DOCUMENTATION PREPARER HEREBY CERTIFIES THAT THE DOCUMENTATION IS ACCURATE AND	COMPLETE.
DOCUMENTATION AUTHOR  LLOYD DIEHL  SIGNATURE	DATE 4-26-04
THE PRINCIPAL LIGHTING DESIGNER HEREBY CERTIFIES THAT THE PROPOSED BUILDING DESIGN REPRICONSTRUCTION DOCUMENTS IS CONSISTANT WITH THE OTHER COMPLIANCE FORMS AND WORKSTEETS AND WITH ANY OTHER CALCULATIONS SUBMITTED WITH THIS PERMIT APPLICATION. THE PROPOSED TO MEET THE LIGHTING REQUIREMENTS CONTAINED IN SECTIONS 110, 119, 130 THROUGH 132, 146 COMPLETED TO THE PROPOSED PLEASE CHECK ONE:	BUILDING HAS BEEN DESIGNED
I HEREBY AFFIRM THAT I AM ELIGIBLE UNDER THE PROVISIONS OF DIVISION 3 OF THE BUSINE TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION; AND THAT I ELECTRICAL ENGINEER OR ARCHITECT.	
I AFFIRM THAT I AM ELIGIBLE UNDER THE EXEMPTION TO DIVISION 3 OF THE BUSINESS AND 5537.2 TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION; AND CONTRACTOR PREPARING DOCUMENTS FOR WORK THAT I HAVE CONTRACTED TO PERFORM.	
I AFFIRM THAT I AM ELIGIBLE UNDER DIVISION 3 OF THE BUSINESS AND PROFESSIONS CO BECAUSE IT PERTAINS TO A STRUCTURE OR TYPE OF WORK DESCRIBED AS EXEMPT PURS PROFESSIONS CODE SECTIONS 5537, 5538 AND 6737.1	
(THESE SECTIONS OF THE BUSINESS AND PROFESSIONS CODE ARE PRINTED IN FOLL IN THE	
PRICIPAL LIGHTING DESIGNERS NAME  LLOYD DIEHL  SIGNATURE	LIC. NO. DATE EE9547 4-26-04
LIGHTING MANDATORY MEASURES	
INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES  ELECTRICA	AL DRAWING E-3
INSTRUCTIONS TO APPLICANT	
FOR DETAILED INSTRUCTIONS ON THE USE OF THIS AND ALL ENERGY EFFICIENCY STANDARDS COM TOTHE NONRESIDENTIAL MANUAL PUBLISHED BY THE CALIFORNIA ENERGY COMMISSION.	PLIANCE FORMS, PLEASE REFER
LTG-1: REQUIRED ON PLANS FOR ALL SUBMITTALS. PART 2 MAY BE INCORPORATED IN SCHEDULTG-2: REQUIRED FOR ALL SUBMITTALS.  LTG-3: OPTIONAL. USE ONLY IF LIGHTING CONTROL CREDITS ARE TAKEN.  LTG-4: OPTIONAL. PART 2 AND 3 AND LTG-5 ARE OPTIONAL IF TAILORED METHOD IS USED.	
NONRESIDENTIAL COMPLIANCE FORM	AUGUST 2001
TOTAL GUAR LANGE FORM	F10001 2001

INST		KENSINGTON F		1					4	-26-04
			LAN	/PS		BALLA	usts	(LA	MINAIRE MP + LLAST)	
TAG	LUMINA DESCR	NRE IPTION	TYPE DESCRIPTION	NO.	WATTS PER LAMP	TYPE DESCRIPTION	N NO.	QUAN.	WATTS PER LUMIN.	TOTAL WAT
Α	REC FLUOR.	DOWNLIGHT	CFL	2	26	ELECTRON	IC 1	21	36	756
В	4' FLUORES		T8	1	32	ELECTRON		3	32	96
C	4' COVE LIG	HI FLUOR.	T8	1	32	ELECTRON	IC 1	2	58	116
							SUBTOTAL I	FROM TI	HIS PAGE	968
	IGHTING SCHEDU HOWS EXTERIOR	LE ON PLANS LIGHTING MEETS:				PLUS S	SUBTOTAL FR	OM CON	NT. PAGE	0
			ا ب				PO	RTABLE	LIGHTING	31
	CONTROL REQUI	Control Require Irements	MENTS			LESS CON	TROL CREDIT	WATTS	(LTG-3)	0
LANI		OMATIC CONTI	ROLS §				ADJUSTE	D ACTU	AL WATTS	999
	ROL LOCATION	CONTROL IDENTIFICATION		CONTR	ROL TYPE EXTERIOR	ETC)	SPACE	CONTRO	DLLED	NOTE TO
	****			_	•					
					······································			Ž.,		
				·····						
	TROLS FOR	CREDIT								
<del>,</del>	TROLS FOR			CONT	POL TYPE		LUMINAIRF	S CONTR	ROLLED	NOTE TO
CONTI	TROLS FOR ROL LOCATION M # OR DWG)	CREDIT  CONTROL IDENTIFICATION	(OCCUPAN		ROL TYPE	MING,ETC)	LUMINAIRES TYPE	<del></del>	ROLLED OF LUMIN.	NOTE TO FIELD
CONT	ROL LOCATION	CONTROL	(OCCUPAN			MING,ETC)		<del></del>		
CONT	ROL LOCATION	CONTROL	(OCCUPAN			MING,ETC)	TYPE	<del></del>		

LIGHT	ING COMPLIANCE	SUMMARY		7 - 14 to		LTG-2
ROJECT NAI	KENSINGTON FIRE STATIO	DN			DATE	1-26-04
ACTUAL	LIGHTING POWER	,				
LUMINAIRE NAME	DESCRIPTION	NUMBER OF LUMINAIRES	WATTS PER LUMINIARE	C.E.C.	DEFAULT N	TOTAL WATTS
Α	REC FLUOR. DOWNLIGHT	21	36	X		756
В	4' FLUORESCENT	3	32	X		96
С	4' COVE LIGHT FLUOR.	2	58	X		116
~				1 2		
				누片니	<u> </u>	
				누片		
				무片	<u> </u>	
		`				
			SUB	TOTAL FROM	THIS PAGE	968
		PLUS	S SUBTOTAL FRO	OM CONTINUA	TION PAGE	0
			F	PORTABLE LIC	CHTING	31
			(	(LTG-1; PAR	· ·	
				BUILD	ING TOTAL	999
			LESS (	CONTROL CRE	DIT WATTS	0
			AD	JUSTED ACT	JAL WATTS	999
ALLOWED	LIGHTING POWER					
COMPLET	E BUILDING METHOD					
	BUILDING CATEGORY		WATTS PER SF.	COMPLI BLDG.		ALLOWED WATTS
	NOT USED.					
AREA CA	TAGORY METHOD					
	AREA CATEGORY (FROM 146b. TAB	LE 1-N)	WATTS PER SF.	AREA 1 SQ.FT.	IN	ALLOWED WATTS
OFFIC	CE AREAS		1.3	15	6	202
KITCI	HEN		1.7	17	5	297
HALL	/ STORAGE ROOM		0.6	22	4	134
DININ	NG .		1.1	15	4	171
LOUN	NGE		1.1	21	6	237
			TOTA	LS 92		1041 WATTS
	OR PERFORMANCE METHOD					
TAILORED						
	ORED PERFORMANCE			TOTAL ALLOW	ED WATTS	***

TABLE 1A. DOD			FIRE STATION  WHO ON PLANS FOR	OFFICE ADEAN	SO COUARC C	L	4-26-0	
	INDIC LIGHTING INC	// SHU			OU SQUARE FI			
A			В	С		D		
ROOM ZONE I.	D.	DEF	FAULT (WATTS)	AREA IN	SQ.FT.	TOTAL WATT (B X C )		
2 OFFIC	ES		0.2	154		31		
		··	0.2	-				
		<del></del>	0.2					
			0.2					
		**************************************	0.2			and the state of t		
			TOTAL		:			
TABLE 18- PORT	TABLE LIGHTING SH	IOWN C	ON PLANS FOR OFFIC	CE AREA > 250 SC	UARE FEET			
Α	В		С	D	E	F	G	
ROOM # OR ZONE I.D.	PORTABLE LTG. DESCRIPTION (S) TASK FORCE	PER	LUMIN'S WATTS PER TASK AREA	TASK AREA (SF)	NUMBER O	TOTALS AREA (SF) (D X E)	TOTAL WATTS (C X E)	
N.Ä.	N.A.		N.A.	N.A.	N.A.	0		
						0		
						0		
						0	(	
						- 0	(	
						0		
		I.		*	то	TAL 0		
TABLE 1C- POR	table lighting is	NOT I	REQUIRED FOR OFFIC	E AREA > SQUAR	E FEET			
ROOM # OR ZONE I.D.		TOT (SF	TAL AREA		esigner needs	to provide detailed   level provided by (	documentatio	
	0	+	<u>′</u>	li	ahtina meets t	the need of the spa ude luminaire types,	ce.	
		+	<u> </u>	n	nounting location	ons relative to work	areas.	
	TOTAL		0					
BUILDING SUMMA	RY- PORTABLE I	JGHTIN	G					
BUILDING	SUMMARY		TOTAL AREA (SF TABLES 1A + 1i	) FROM		VATTS FROM 1A + 1B.		
BUILDING SUMM	IARY	+	154		IABLES	31	_	
L								

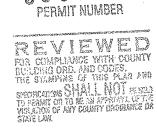
### LIGHTING MANDATORY MEASURES

CONTRACTOR IS RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF ITEMS LISTED BELOW. HIS WORK SHALL INCLUDE DEVICES, EQUIPMENT, CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION. ALL EQUIPMENT WILL BE CERTIFIED AND LISTED BY THE COMMISSION.

#### APPLIES

- N.A. 1. ALL AUTOMATIC CONTROL DEVICES SPECIFIED WILL BE CERTIFIED. ALL ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY MANUFACTURER.
- 2. ALL FLUORESCENT FIXTURES AND BALLASTS SPECIFIED FOR THE PROJECT WILL BE CERTIFIED AND LISTED BY THE COMMISSION. SEE FIXTURE SCHEDULE.
- N.A. 3. ALL ONE AND THREE LAMP FLUORESCENT FIXTURES ARE TANDEM WIRED WITH TWO LAMP BALLASTS AS NOTED ON THE FIXTURE SCHEDULE. STRIPS MUST BE CONTINUOUS FOR TANDEM WIRING REQUIREMENT.
- N.A. 

  4. ALL THREE LAMP FLUORESCENT FIXTURES ARE SPECIFIED WITH ELECTRONIC HIGH FREQUENCY BALLASTS AND ARE EXEMPT FROM TWO LAMP TANDEM WIRING REQUIREMENTS.
- \_\_\_\_\_ [X] 5. EACH ROOM AND AREA IN THIS BUILDING IS EQUIPPED WITH A SEPARATE SWITCH FOR EACH AREA WITH FLOOR TO CEILING WALLS. MOTION SENSORS MAY BE USED.
- N.A. 7. ALL ROOMS WITH WINDOWS AND SKYLIGHTS, THAT ARE GREATER THAN 250 SQ.FT., AND THAT ALLOW FOR THE EFFECTIVE USE OF DAYLIGHT, SHALL HAVE 50% OF THE LAMPS IN EACH DAYLIT AREA CONTROLLED BY A SEPARATE SWITCH.
- N.A. | 8. THE EFFECTIVE USE OF DAYLIGHT THROUGH CANNOT BE ACCOMPLISHED BECAUSE THE WINDOWS ARE CONTINUOUSLY SHADED BY A BUILDING ON THE ADJACENT PROPERTY. DIAGRAM OF SHADING DURING DIFFERENT TIMES OF THE YEAR IS INCLUDED ON THE PLANS.
- N.A. 9. EXTERIOR MOUNTED FIXTURES ARE EXISTING.



Alekar Balandara

CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION
These plans must be kept on
the premises and adcessible
to the inspector at all times.

ITALO A. CALPESTRI III & ASSOCIATES AIA

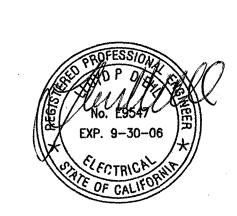
BANK OF AMERICA BUILDING 1504 PARK STREET, SUITE 7 ALAMEDA, CA 94501 TEL: (510) 522-6769 FAX: (510) 521-1427

P.O. BOX 6124
CONCORD CA 94524

LLOYD P. DIEHL, PE.

BUS:(925)672-09

STAN



REVISIONS:					
No.	DESCRIPTION	DAT			
		•			
****					
	i e				

PROJEC

KENSINGTON FIRE STATION 215 ARLINGTON AVENUE KENSINGTON, CA 94707

DRAWING TITLE

TITLE 24 LIGHTING CALCULATIONS

PROJECT No. :	
DRAWN BY:	LLOYD DIEHL
CHECKED BY:	LLOYD DIEHL
DATE:	6-2-2004
SCALE:	AS NOTED

E-3