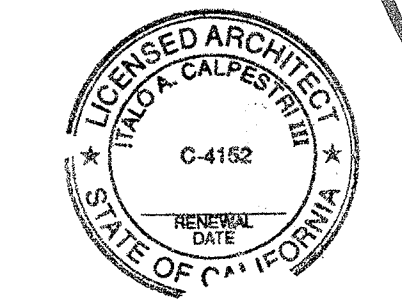


KENSINGTON FIRE STATION / PUBLIC SAFETY BUILDING RENOVATION

215 ARLINGTON AVENUE, KENSINGTON, CALIFORNIA 94707

ITALO A. CALPESTRI III
& ASSOCIATES AIA

BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



Field
356983

GENERAL NOTES:

- ALL WORK AND MATERIALS SHALL BE IN ACCORDANCE WITH THE APPLICABLE RULES AND REGULATIONS OF STATE AND/OR LOCAL CODES, LAWS, ORDINANCES, STATUTES AND REGULATIONS. NOTHING IN THE DRAWINGS IS TO BE CONSTRUED AS REQUIRING OR PERMITTING WORK CONTRARY TO THESE APPLICABLE RULES, REGULATIONS AND CODES.
- THESE NOTES ARE INTENDED AS A GUIDE TO THE CONSTRUCTION REQUIREMENTS ESTABLISHED FOR THIS PROJECT. NO CONTRACTOR SHALL ATTEMPT TO DESIGN, BID OR CONSTRUCT ANY PORTION OF THE WORK HEREIN WITHOUT FULL UNDERSTANDING OF THE DESIGN INTENT AND APPLICABLE CODE REQUIREMENTS. THE CONTRACTOR SHOULD OBTAIN CLARIFICATION FROM THE ARCHITECT IF HE IS UNCERTAIN OF DESIGN INTENT.
- THE DESIGN PRESENTED ON THESE DRAWINGS ESTABLISHES THE GENERAL ARCHITECTURAL REQUIREMENTS FOR THE PROJECT. IT DOES NOT PRESENT ALL DETAILS REQUIRED FOR CONSTRUCTION. THE CONTRACTOR IS EXPECTED TO EXERCISE SOUND JUDGEMENT IN ACCORDANCE WITH CODE REQUIREMENTS.
- THE DRAWINGS INDICATE LOCATION, DIMENSIONS, AND TYPICAL DETAILS OF CONSTRUCTION. FEATURES OF CONSTRUCTION SHOWN ARE TYPICAL AND APPLY GENERALLY FOR SIMILAR CONDITIONS. THE DRAWINGS DO NOT ILLUSTRATE EVERY CONDITION. IN THE EVENT THAT CERTAIN FEATURES ARE NOT FULLY SHOWN ON THE DRAWINGS OR CALLED FOR IN THE SPECIFICATIONS, THEIR CONSTRUCTION SHALL BE (A) OF THE SAME CHARACTER AS SHOWN FOR SIMILAR CONDITIONS; OR (B) IN ACCORD WITH CONVENTIONAL PRACTICES OF THE CBC; OR (C) AS CLARIFIED BY THE ARCHITECT. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
- NO ONE DRAWING OR SPECIFICATION SECTION SHALL "GOVERN". CONTRACTOR SHALL CORRELATE WORK BETWEEN ARCHITECTURAL DRAWINGS AND SPECIFICATIONS AND CONSULTANT DRAWINGS AND SPECIFICATIONS. CONTRACTOR SHALL ALSO CORRELATE WORK BETWEEN DRAWINGS OF DIFFERENT SCALES WITHIN EACH SECTION. IT IS THE EXPLICIT AND SPECIFIC RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE CONTRACT DOCUMENTS IN THEIR ENTIRETY, REPORT ALL DISCREPANCIES ENCOUNTERED THEREIN TO THE ARCHITECT AND AWAIT RESOLUTION BEFORE PROCEEDING WITH ANY WORK AFFECTED BY SUCH DISCREPANCIES.
- UNLESS SHOWN OTHERWISE, DETAILS SHOWN AS "TYPICAL" APPLY WHEREVER APPROPRIATE. SPECIFIC DETAILS TAKE PRECEDENCE OVER "TYPICAL" DETAILS. SPECIFIC NOTES ON DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES.
- DIMENSIONS MARKED "VERIFY" ARE TO BE CHECKED FOR ACCURACY BY THE CONTRACTOR AND ALL DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- EXISTING SITE AND CONSTRUCTION INFORMATION IS BASED ON ORIGINAL DRAWINGS BY JEFFRIES, LYONS AND HILL DATED 9/19/69 AND ON DRAWINGS BY MARCI LI WONG ARCHITECTS DATED 9/10/98.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE ARCHITECTURAL CONTRACT DOCUMENTS WITH THE STRUCTURAL DRAWINGS AS TO ALL LAYOUTS, DIMENSIONS, AND ELEVATIONS AND SHALL AT ONCE REPORT DISCOVERED ERRORS, INCONSISTENCIES, OR OMISSIONS TO THE ARCHITECT. IF THE CONTRACTOR PERFORMS ANY CONSTRUCTION ACTIVITY KNOWING IT INVOLVES A RECOGNIZED ERROR, INCONSISTENCY OR OMISSION IN THE CONTRACT DOCUMENTS WITHOUT SUCH NOTICE TO THE ARCHITECT, THE CONTRACTOR SHALL ASSUME APPROPRIATE RESPONSIBILITY FOR SUCH PERFORMANCE AND SHALL BEAR AN APPROPRIATE AMOUNT OF THE ATTRIBUTED COSTS FOR CORRECTION.
- DO NOT SCALE THE DRAWINGS. LAY OUT WORK FOLLOWING WRITTEN DIMENSIONS. IF WRITTEN DIMENSIONS ARE LACKING, NOTIFY THE ARCHITECT AT ONCE. WHERE DISCREPANCIES OCCUR, THEY SHALL BE REPORTED TO THE ARCHITECT FOR RESOLUTION.
- DIMENSIONS ARE GIVEN TO FACE OF FINISH UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- THE CONTRACTOR SHALL BE DEEMED TO HAVE INSPECTED THE SITE AND VERIFIED ACTUAL GRADES, ELEVATIONS, DIMENSIONS, AND DECLINATIONS AND THE TRUE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- ALL CONDITIONS AFFECTING WORK PROGRESS AND CONFORMANCE TO PLANS AND SPECIFICATIONS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF WORK.
- ANY SITE AND BUILDING AREAS UNAFFECTED BY THIS WORK SHALL BE PROTECTED FROM ANY DAMAGE CAUSED BY THIS WORK. ANY DAMAGE TO EXISTING STRUCTURES AND BUILDING ELEMENTS SO CALLED SHALL BE THE FINANCIAL RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL PATCH ALL AREAS OF EXISTING BUILDING WHICH ARE IN NEED OF SUCH WORK AS A RESULT OF DEMOLITION, INSTALLATION OF NEW ITEMS, OR NEW CONSTRUCTION.
- ANY WASTE AND REFUSE CAUSED BY THIS WORK SHALL BE REMOVED FROM THE PREMISES AND DISPOSED OF BY THE CONTRACTOR IN A LEGAL MANNER.
- INFORMATION SHOWN IN DRAWINGS REGARDING EXISTING CONSTRUCTION IS APPROXIMATE. CONTRACTOR SHALL SURVEY EXISTING CONDITIONS AND VERIFY DETAILED CHARACTERISTICS AFFECTING THE WORK OF THIS CONTRACT. ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- EXIT DOOR HARDWARE SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT.
- BROOM CLEAN CONSTRUCTION PREMISES AT THE END OF EACH DAY AND FINAL CLEANING TO INCLUDE EXISTING WINDOWS AND MINI-BLINDS AT THE END OF THE JOB.
- MATERIALS, ASSEMBLIES AND SYSTEMS SHOWN ARE NEW UNLESS NOTES AS EXISTING OR (E).

ABBREVIATIONS:

NOTE: ALL ABBREVIATIONS MAY NOT BE USED.

A.D.	AREA DRAIN	M.B.	MACHINE BOLT
ADJ.	ADJACENT/ADJUSTABLE	MET.	METAL
A.F.F.	ABOVE FINISHED FLOOR	M.R.	MOISTURE RESISTANT
BLDG.	BUILDING	MTD.	MOUNTED
CAB.	CABINET	MTG.	MOUNTING
CBC	CALIFORNIA BUILDING CODE (TITLE 24)	(N)	NEW
€	CENTERLINE	NTS	NOT TO SCALE
C.O.	CLEAN OUT	O.C.	ON CENTER
CLR.	CLEAR	O.D.	OUTSIDE DIAMETER
CONC.	CONCRETE	OPN'G	OPENING
DIA.	DIAMETER	PLYWD.	PLYWOOD
D.F.	DOUGLAS FIR	PNTD.	PAINTED
DN.	DOWN	P.T.	PRESSURE TREATED
DWG.	DRAWING	R.	RADIUS
DWR.	DRAWER	R.D.	ROOF DRAIN
EA.	EACH	REF.	REFRIGERATOR
EL.	ELEVATION	REQ'D.	REQUIRED
(E)	EXISTING	R.O.	ROUGH OPENING
EXT.	EXTERIOR	S.A.D.	SEE ARCHITECTURAL DRAWINGS
F.D.	FLOOR DRAIN	S.E.D.	SEE ELECTRICAL DRAWINGS
G.A.	GALVANIZED	S.F.	SQUARE FEET
GFRP	GYP. FIBER REINFORCED PLASTER	SHT.	SHEET
GYP. BD.	GYP. WALL BOARD	SIM.	SIMILAR
ELECT.	ELECTRIC OR ELECTRICAL FINISHED OPENING	SMD	SEE MECHANICAL DRAWINGS
F.O.	FIRE TREATED	SMS	SHEET METAL SCREW
F.T.	FIRE TREATED	SPD	SEE PLUMBING DRAWINGS
GSM	GALVANIZED SHEET METAL	S.S.	STAINLESS STEEL
HC	HANDICAPPED	SSD	SEE STRUCTURAL DRAWINGS
HT.	HEIGHT	STL	STEEL
I.D.	INSIDE DIAMETER	TYP.	TYPICAL
LAV	LAVATORY	UBC	UNIFORM BUILDING CODE
MANUF.	MANUFACTURER	U.O.N.	UNLESS OTHERWISE NOTED
		V.I.F.	VERIFY IN FIELD
		W/	WITH
		W.C.	WATER CLOSET
		W.P.	WATER PROOF

CODE DATA:

APPLICABLE CODES & REGULATIONS: 2001 UBC, 2000 UBC, 2001 CMC, UPC & NEC

CONSTRUCTION TYPE: V-N
AUTOMATIC FIRE SPRINKLERS NOT REQUIRED

OCCUPANCY CLASSIFICATION: B,S3,R1

NUMBER OF STORIES: 2

FLOOR AREA:

	EXISTING	NEW	TOTAL
1ST FLOOR	2952 SF	0	2952 SF
2ND FLOOR	2760 SF	74 SF	2834 SF
TOTAL	5712 SF	74 SF	5786 SF

OCCUPANT LOAD:

OFFICE:	1 PERSON/100 SF
APPARATUS BAY:	1 PERSON/200 SF
LIVING:	1 PERSON/200 SF
1ST FLOOR OFFICE	1444/100 = 15 OCCUPANTS
1ST FLOOR APPARATUS	1508/200 = 8 OCCUPANTS
TOTAL FIRST FLOOR	23 OCCUPANTS

2ND FLOOR OFFICE
2ND FLOOR LIVING
TOTAL SECOND FLOOR

EXITS:

1 EXIT REQ'D FOR THE 1ST FLOOR
2 EXITS REQ'D FOR THE 2ND FLOOR
NOTE: 2ND FLOOR EXITS DIRECTLY TO GRADE

PARKING:

NO CHANGE REQUIRED

HANDICAPPED ACCESSIBILITY:

1ST FLOOR OFFICE AREA REQUIRED TO BE ACCESSIBLE AND COMPLY WITH TITLE 24
2ND FLOOR ACCESS RESTRICTED TO POLICE AND FIRE DEPARTMENT PERSONNEL THUS ACCESSIBILITY NOT REQUIRED

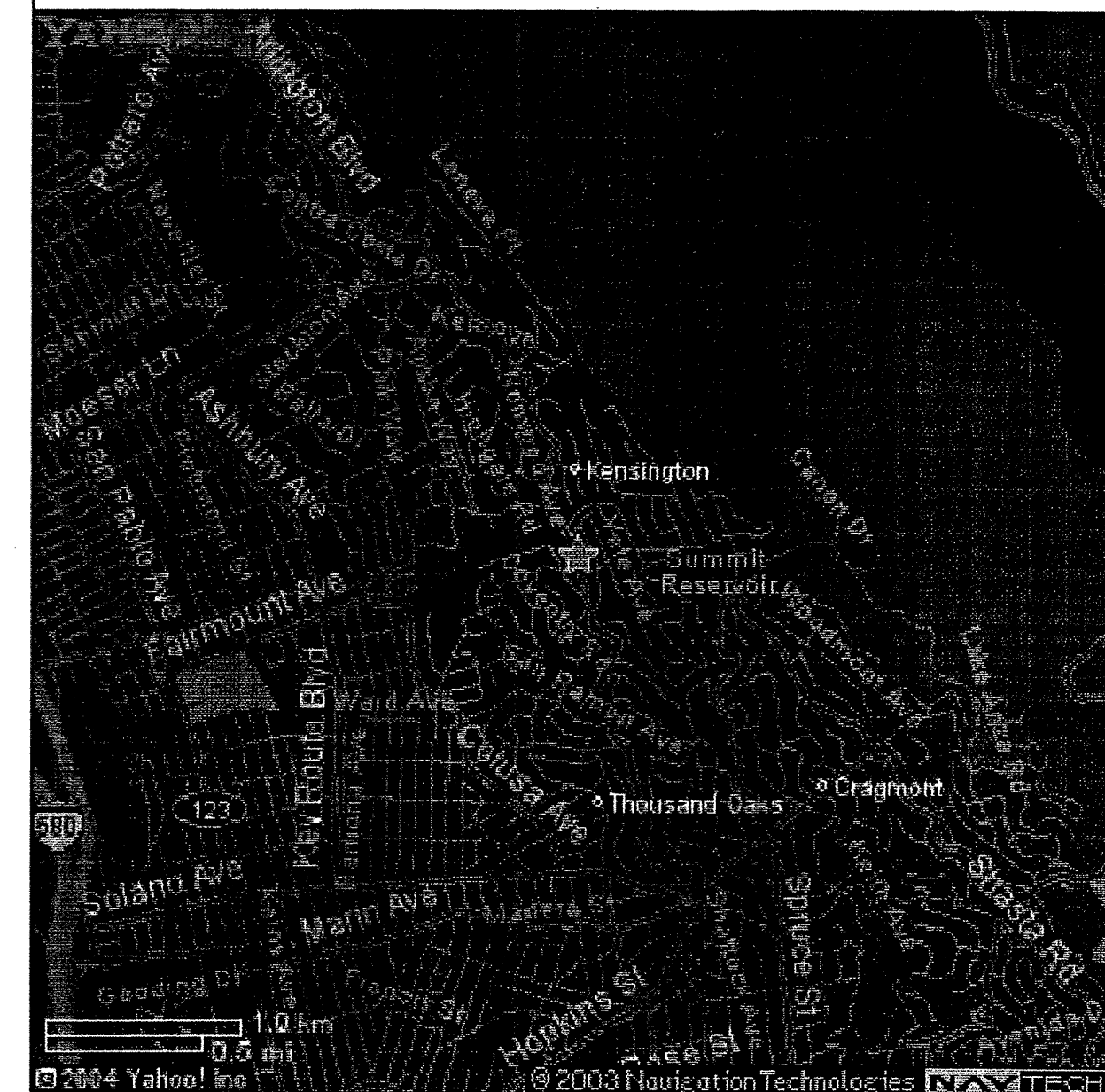
SYMBOLS:

- ELEVATION DRAWING NUMBER
- SHEET WHERE DRAWN
- DETAIL DRAWING NUMBER
- SHEET WHERE DRAWN
- DOOR TAG
- KEY NOTE NUMBER
- WINDOW TAG
- ALIGN SURFACES
- REVISION
- GRID LINE REFERENCE

STAGE SANITARY DISTRICT
By: [Signature] Date: 02/10/04
APPROVED AS IS
CONDITIONAL APPROVAL:
INSTALL A BACKFLOW PREVENTION DEVICE PER DISTRICT ORDINANCE NO. 1532-0398

A STAGE SANITARY DISTRICT PERMIT AND PAYMENT OF FEES ARE REQUIRED PRIOR TO WORK ON SEWER LINES.

LOCATION MAP:



DRAWING INDEX:

ARCHITECTURAL:

- A-0 COVER SHEET
- A-1 SITE & ROOF PLAN
- A-2 BUILDING SECTIONS & PARTIAL 1ST FLOOR PLAN
- A-3 2ND FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
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- A-6 INTERIOR ELEVATIONS
- A-7 WINDOW & DOOR SCHEDULES, DETAILS
- A-8 DETAILS

STRUCTURAL:

- S-1 GENERAL NOTES, SPECIAL INSPECTION & TESTING, LEGEND & ABBREVIATION
- S-2 FOUNDATION/1ST FLOOR FRAMING PLAN
- S-3 2ND FLOOR FRAMING/1ST FLOOR PLAN
- S-4 ROOF FRAMING/2ND FLOOR PLAN
- S-5 ELEVATION & DETAILS
- S-6 DETAILS
- S-7 DETAILS

ELECTRICAL:

- E-1 SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE COUNTY NOTES, PANELS, SINGLE LINE DIAGRAM
- E-2 POWER, SIGNAL & LIGHTING PLAN
- E-3 TITLE-24

HVAC:

DESIGN BUILD BY MECHANICAL CONTRACTOR. NO PART OF GENERAL CONTRACT. GENERAL CONTRACTOR TO COORDINATE WORK WITH THE HVAC CONTRACTOR

PROJECT ROSTER:

OWNER

KENSINGTON FIRE PROTECTION DISTRICT
10900 SAN PABLO AVENUE
EL CERRITO, CA 94530
(510) 655-7793

ARCHITECT

ITALO A. CALPESTRI III & ASSOCIATES AIA
BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
(510) 522-6769 FAX (510) 521-1427

STRUCTURAL ENGINEER

BASILENE ENGINEERING
1504 PARK STREET, SUITE 8
ALAMEDA, CA 94501
(510) 865-4623 FAX (510) 865-4704

ELECTRICAL ENGINEER

WECO ELECTRIC
LLOYD DIEHL
P.O. BOX 6124
CONCORD, CA 94524
(925) 672-0969 FAX (925) 672-4974

HVAC CONTRACTOR -- (DESIGN BUILD)
KELAIR

356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY BUILDING CODE AND CODES. THE STAMPS OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE HELD TO BE VALID UNLESS APPROVED BY THE SIGNATURE OF ANY COUNTY OFFICIAL OR DESIGNER.

CONTRA COSTA COUNTY
DIRECTOR OF BUILDING INSPECTION
[Signature]

REVISIONS:

No.	DESCRIPTION	DATE

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
COVER SHEET

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

SHEET NO.: A-0

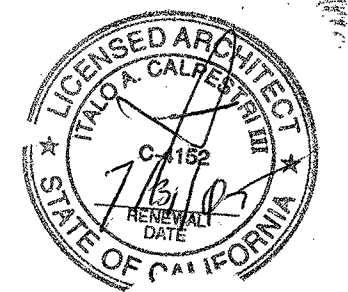
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MANUF.	MANUFACTURER	V.I.F.	VERIFY IN FIELD
		W/	WITH
		W.C.	WATER CLOSET
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CODE DATA:

APPLICABLE CODES & REGULATIONS:	2001 CBC 2001 CPC 2001 CEC																
CONSTRUCTION TYPE:	V-N AUTOMATIC FIRE SPRINKLERS NOT REQUIRED																
OCCUPANCY CLASSIFICATION:	B																
NUMBER OF STORIES:	2																
FLOOR AREA:																	
	<table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>NEW</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>1ST FLOOR</td> <td>2952 SF</td> <td>0</td> <td>2952 SF</td> </tr> <tr> <td>2ND FLOOR</td> <td>2760 SF</td> <td>74 SF</td> <td>2834 SF</td> </tr> <tr> <td>TOTAL</td> <td>5712 SF</td> <td>74 SF</td> <td>5786 SF</td> </tr> </tbody> </table>		EXISTING	NEW	TOTAL	1ST FLOOR	2952 SF	0	2952 SF	2ND FLOOR	2760 SF	74 SF	2834 SF	TOTAL	5712 SF	74 SF	5786 SF
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PARKING:	NO CHANGE REQUIRED																
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- S-7 DETAILS

ELECTRICAL:

- E-1 SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE COUNTY NOTES, PANELS, SINGLE LINE DIAGRAM
- E-2 POWER, SIGNAL & LIGHTING PLAN
- E-3 TITLE-24

HVAC:

DESIGN BUILD BY MECHANICAL CONTRACTOR.
NO PART OF GENERAL CONTRACT. GENERAL CONTRACTOR TO COORDINATE WORK WITH THE HVAC CONTRACTOR

SYMBOLS:

	ELEVATION DRAWING NUMBER
	DETAIL DRAWING NUMBER
	DOOR TAG
	KEY NOTE NUMBER
	WINDOW TAG
	ALIGN SURFACES
	REVISION
	GRID LINE REFERENCE

LOCATION MAP:



PROJECT ROSTER:

OWNER

KENSINGTON FIRE PROTECTION DISTRICT
10900 SAN PABLO AVENUE
EL CERRITO, CA 94530
(510) 655-7793

ARCHITECT

ITALO A. CALPESTRI III & ASSOCIATES AIA
BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
(510) 522-6769 FAX (510) 521-1427

STRUCTURAL ENGINEER

BASELINE ENGINEERING
1504 PARK STREET, SUITE 8
ALAMEDA, CA 94501
(510) 865-4623 FAX (510) 865-4704

ELECTRICAL ENGINEER

WECO ELECTRIC
LLOYD DIEHL
P.O. BOX 6124
CONCORD, CA 94524
(925) 672-0969 FAX (925) 672-4974

HVAC CONTRACTOR - (DESIGN BUILD)

KELAIR

356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
SOLID WASTE AND AIR CODES,
THE ENGINEER OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE
RESPONSIBLE FOR ANY OTHER
SOLID WASTE

CONTRA COSTA COUNTY
BUILDING INSPECTION
These plans must be kept on
the premises and accessible
to the inspector at all times.

REVISIONS:

No.	DESCRIPTION	DATE
1	10/12/02	

PROJECT

KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE

COVER SHEET

PROJECT No. : 2324

DRAWN BY: TJ

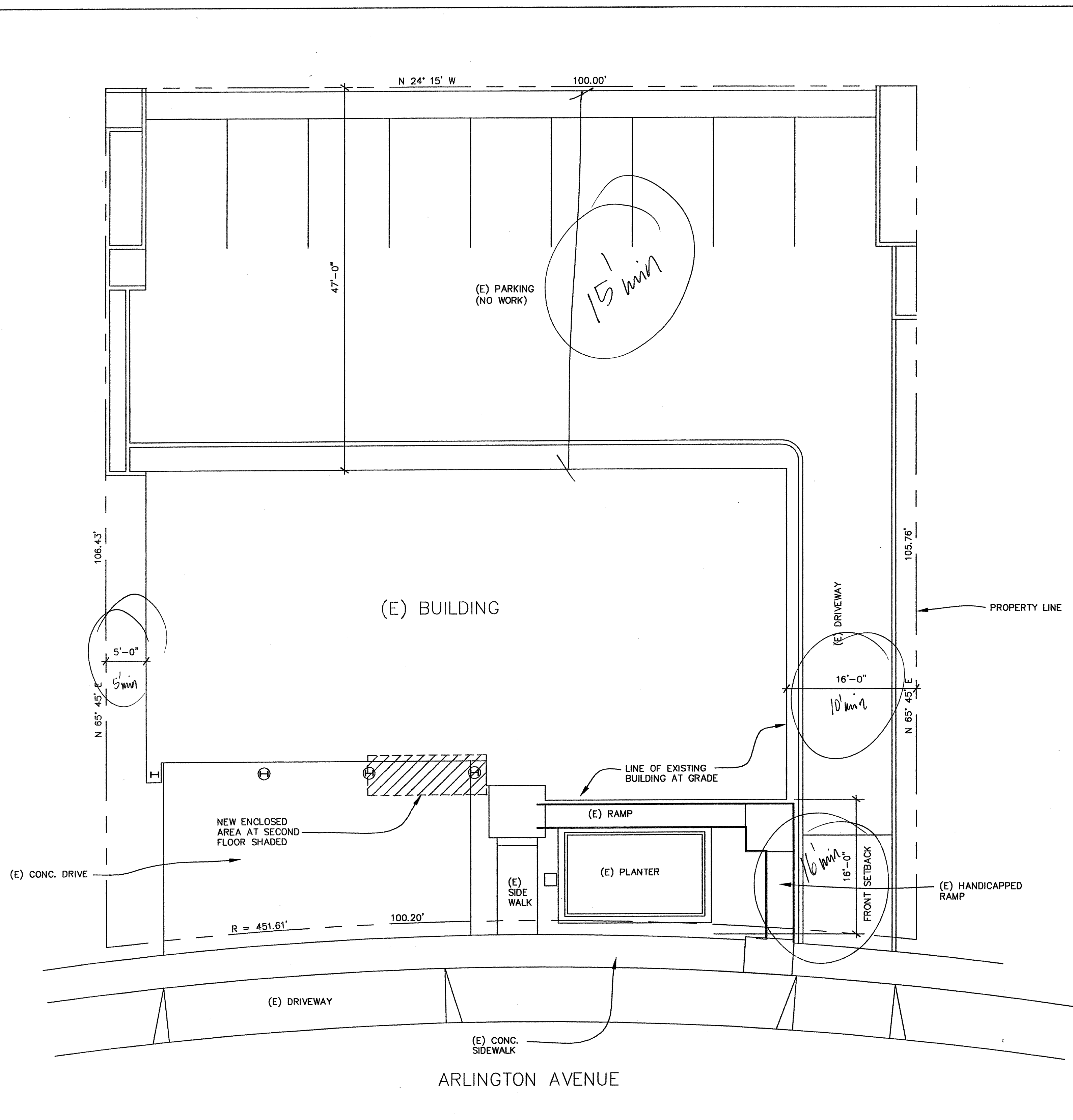
CHECKED BY: IAC

DATE: 07-29-04

SCALE: AS NOTED

SHEET NO.:

A-0

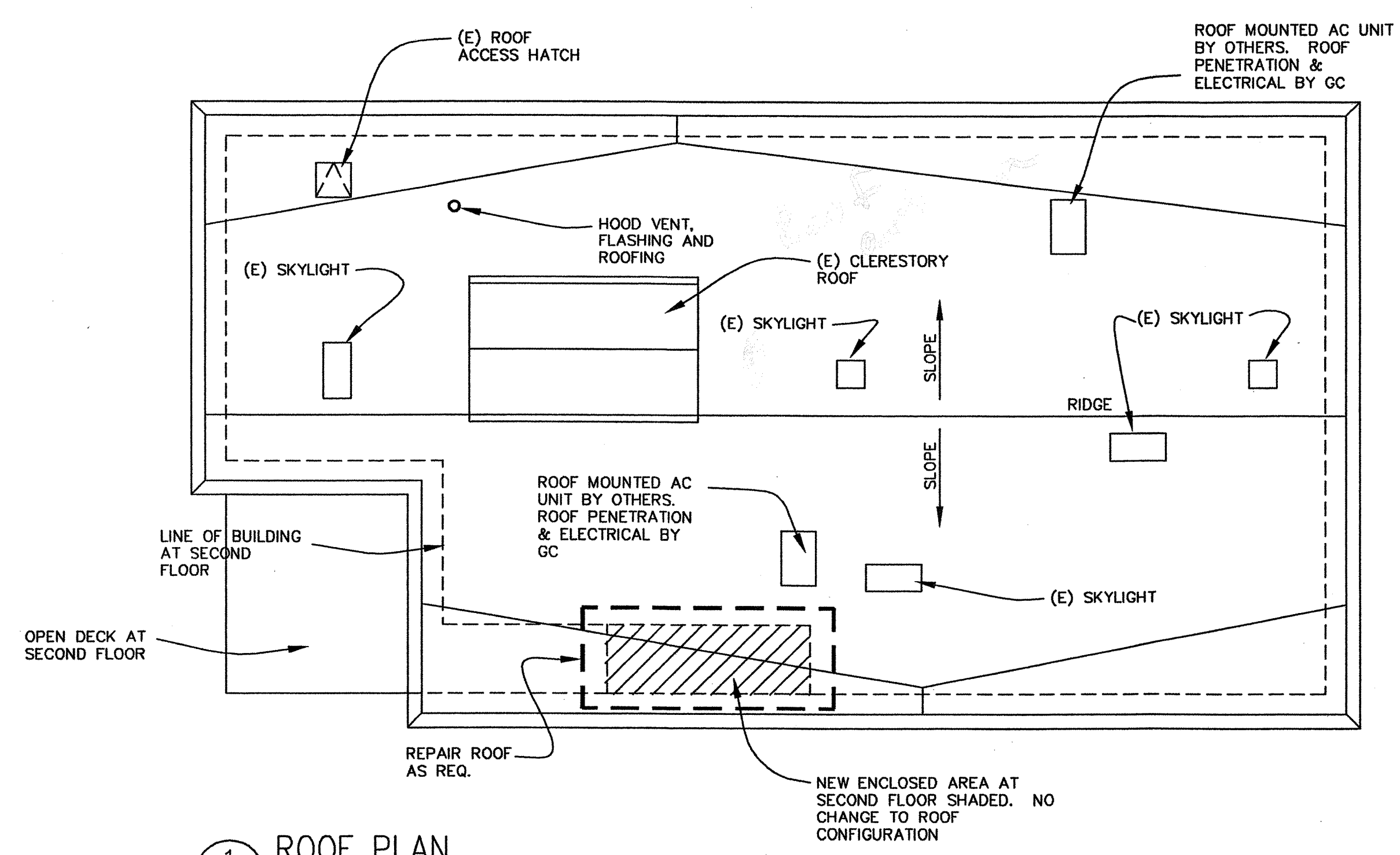


2 SITE PLAN
A-1 1/8" = 1'-0"



Date 8/3/04
 Owner *[Signature]*
 Applicant
 Contractor
 Other

PLAN CERTIFICATION
 I certify that these plans accurately reflect the physical constraints and/or characteristics of this site, e.g., showing existing and proposed improvements, creeks, drainage ditches, existing trees (including size, species, drip line) and easements.
 Signature
 Date



1 ROOF PLAN
A-1 1/8" = 1'-0"

CONTRA COSTA COUNTY COMMUNITY DEVELOPMENT	
ASSESSOR'S PARCEL NO. 570-050-021	
PERMIT TYPE CODE CA AN # 356983	
COMMENTS LP 042049 ZONING R-6	
PARK DEDICATION # _____ FEES \$ _____ REQUIRED	
FLOOD ZONE C FIRM PANEL NO. _____ REQUIRED	
CHILD CARE # _____ FEES \$ _____ REQUIRED	
OTHER # _____ FEES \$ _____ REQUIRED	
BY <i>[Signature]</i> DATE 8.3.04	

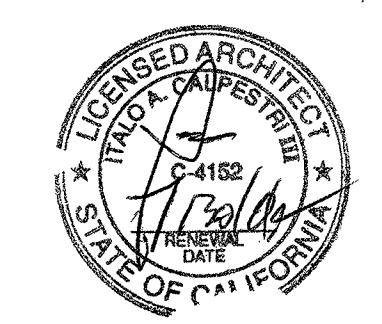
356983 PERMIT NUMBER

REVIEWED FOR COMPLIANCE WITH COUNTY ENGINEERING AND ZONING AND THE STANDARDS OF THIS PLAN AND THE STATE OF CALIFORNIA. THESE PLANS SHALL NOT BE HELD RESPONSIBLE FOR ANY VIOLATIONS OF THE PERMITS OR ANY COUNTY ORDINANCE OR STATE LAW.
 CONTRA COSTA COUNTY DIRECTOR OF BUILDING INSPECTION
[Signature]
 These plans must be kept on the premises and accessible to the Inspector at all times.

See A3 & E2 & A2

ITALO A. CALPESTRI III
& ASSOCIATES AIA

BANK OF AMERICA BUILDING
 1504 PARK STREET, SUITE 7
 ALAMEDA, CA 94501
 TEL: (510) 522-6769
 FAX: (510) 521-1427



STAMP:

REVISIONS No.	DESCRIPTION	DATE

PROJECT
 KENSINGTON FIRE STATION
 215 ARLINGTON AVENUE
 KENSINGTON, CA 94707

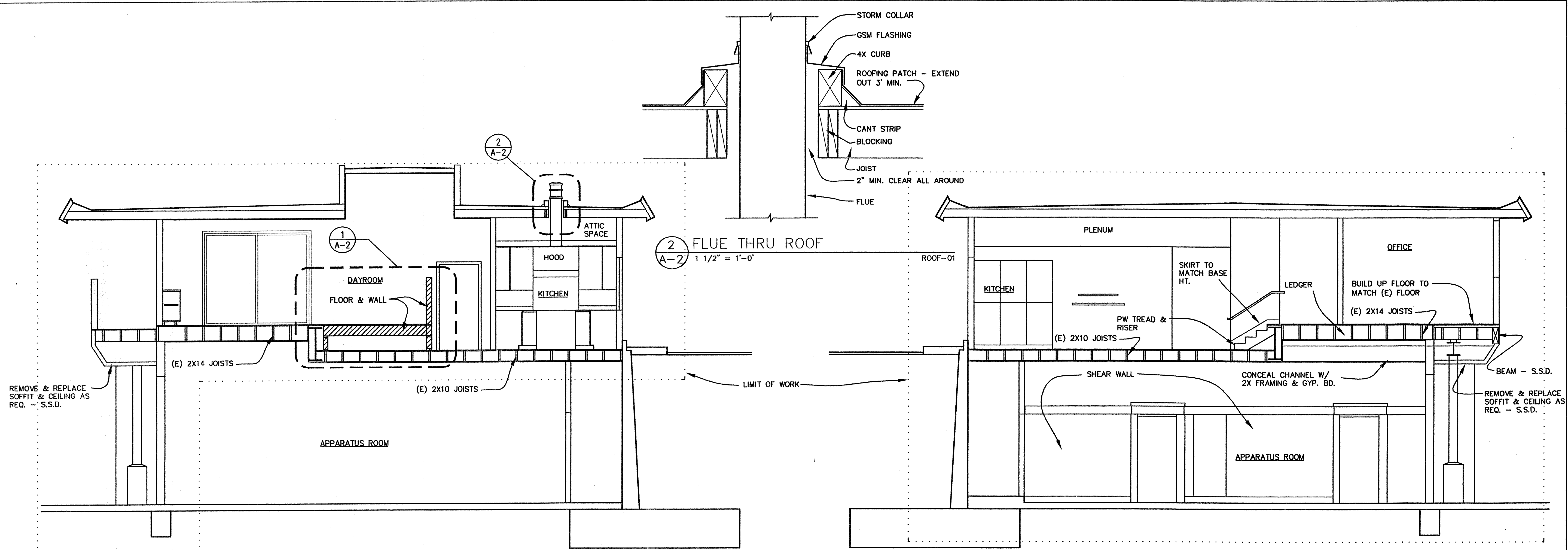
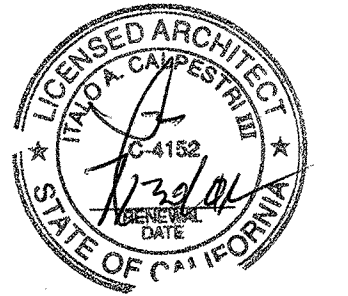
DRAWING TITLE
 SITE & ROOF PLANS

PROJECT No.: 2324
 DRAWN BY: TJ
 CHECKED BY: IAC
 DATE: 07-29-04
 SCALE: AS NOTED

SHEET NO.: A-1

ITALO A. CALPESTRI III
& ASSOCIATES AIA

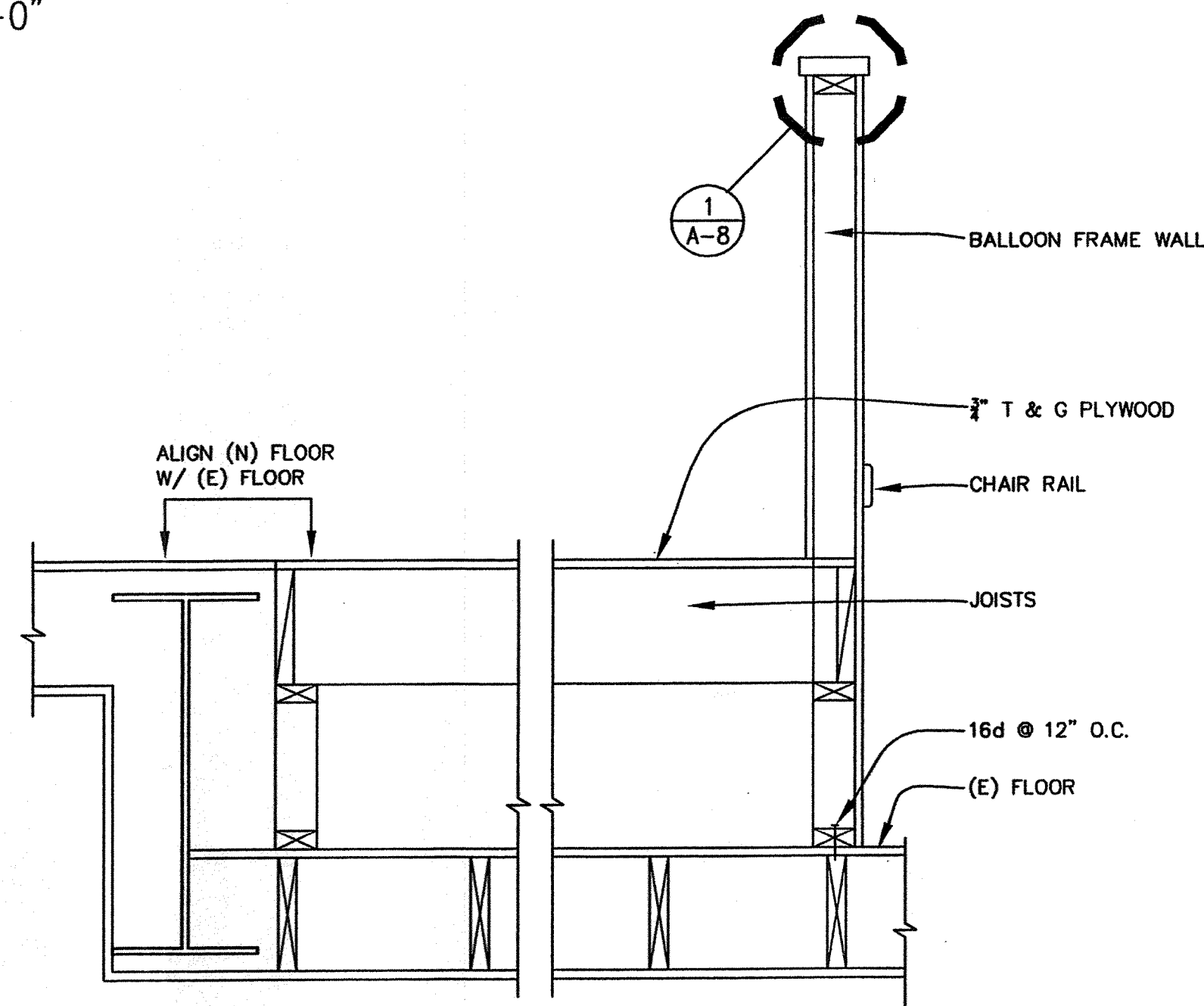
BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



A BUILDING SECTION
A-2 1/4" = 1'-0"

B BUILDING SECTION
A-2 1/4" = 1'-0"

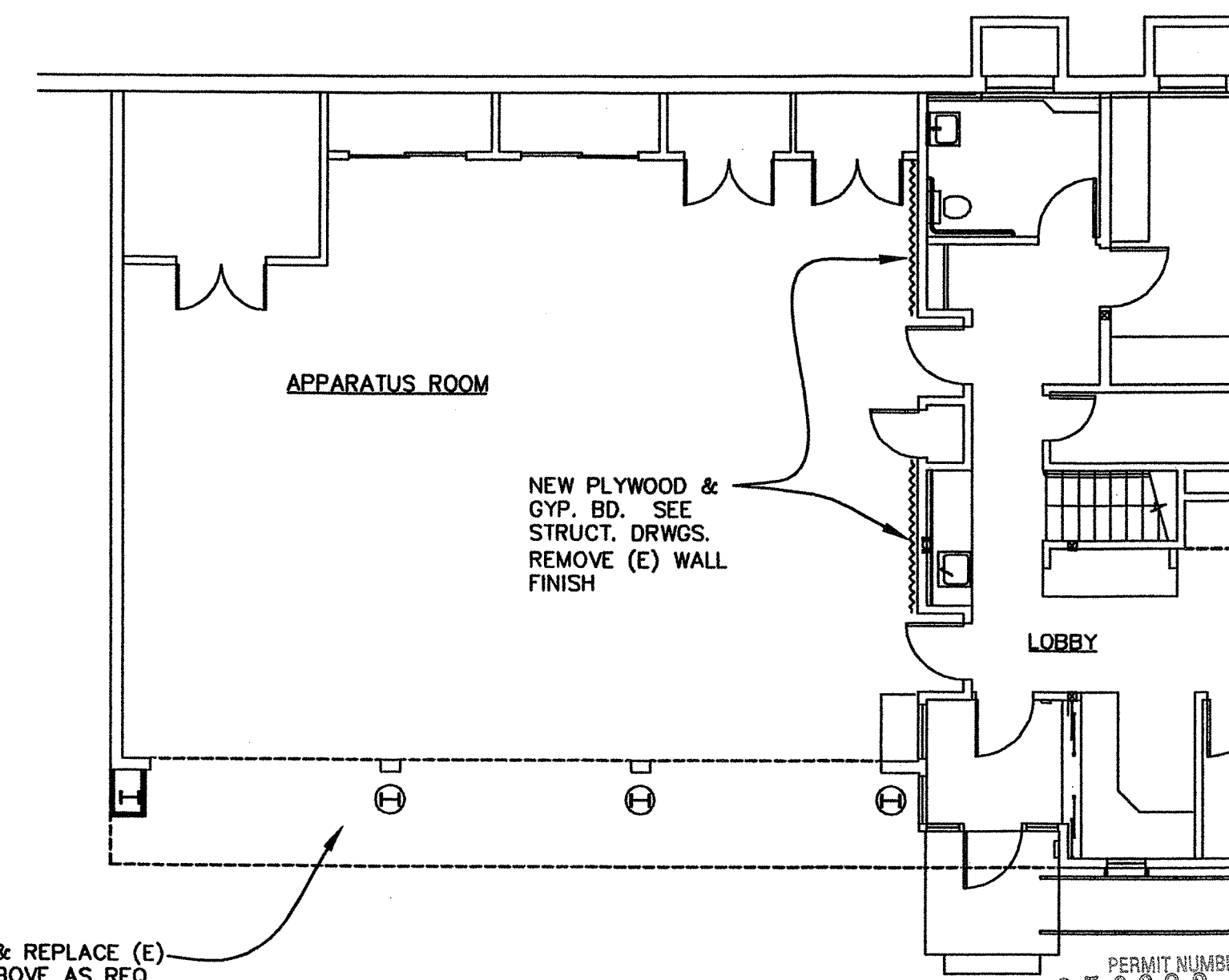
NOTE: BUILDING SECTION TAKEN FROM OWNERS ARCHIVED DRAWINGS.
ARCHIVED DRAWINGS ARE AVAILABLE FOR REVIEW AT JOB SITE.



1 FLOOR FRAMING
A-2 1" = 1'-0"

CONTRA COSTA COUNTY COMMUNITY DEVELOPMENT	
APPLICANT'S PARCEL NO. _____	AN # _____
PERMIT TYPE CODE _____	ZONING _____
COMMENTS _____	FEES \$ _____ NOT REQUIRED
PAY DEDICATION # _____	FLOOD ZONE # _____
CHILD CARE # _____	OTHER # _____
DATE _____	DATE 8-2-01

Per D. Allen



3 PARTIAL 1ST FLOOR PLAN
A-2 1/8" = 1'-0"

STAMP:

REVISIONS:	No.	DESCRIPTION	DATE

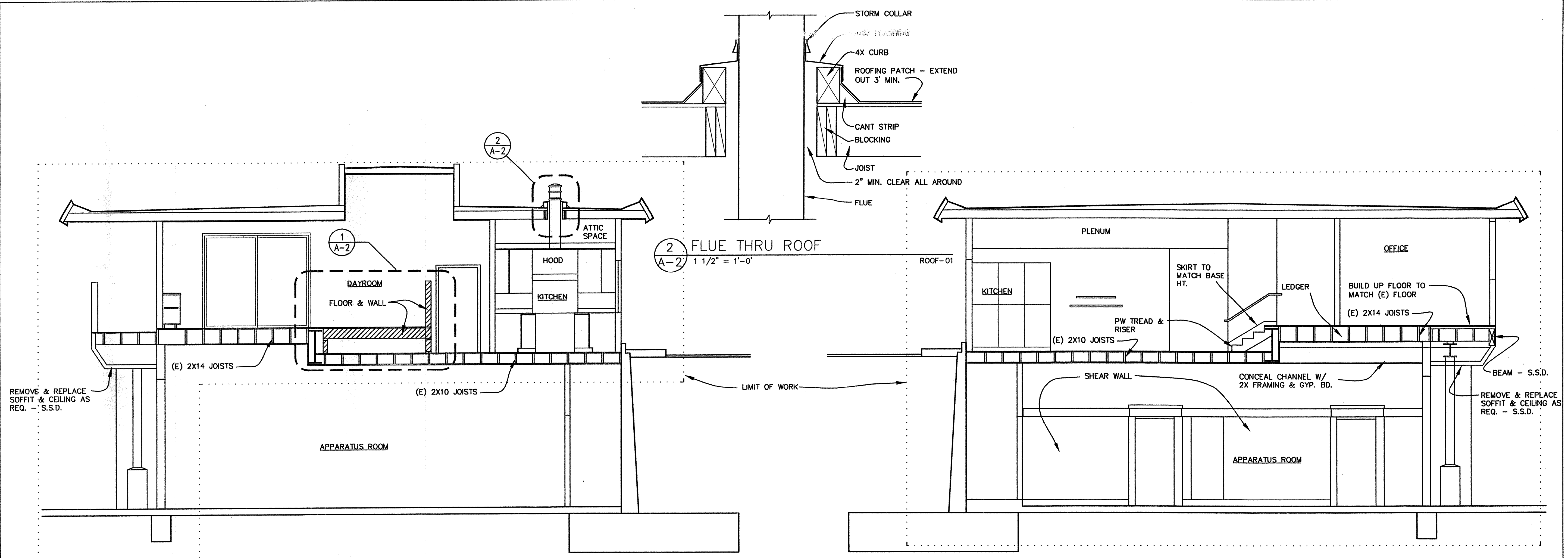
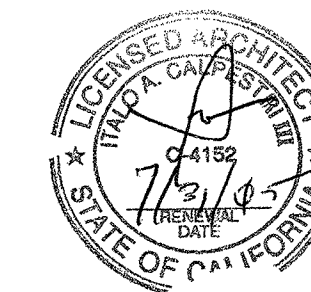
PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
**BUILDING SECTIONS
PARTIAL 1ST FLOOR PLAN**

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

PERMIT NUMBER
356983
REVIEWED
FOR COMPLIANCE WITH COUNTY
BUILDING CODE AND ORDINANCES.
THE STAMPING OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE A
SUBSTITUTION FOR THE APPROVAL OF THE
SUITABLE BY ANY COUNTY OFFICIAL OR
SUITABLE LAW.
Contra Costa County
CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION
SKT
These plans must be kept on
the premises and accessible
to the Inspector at all times.

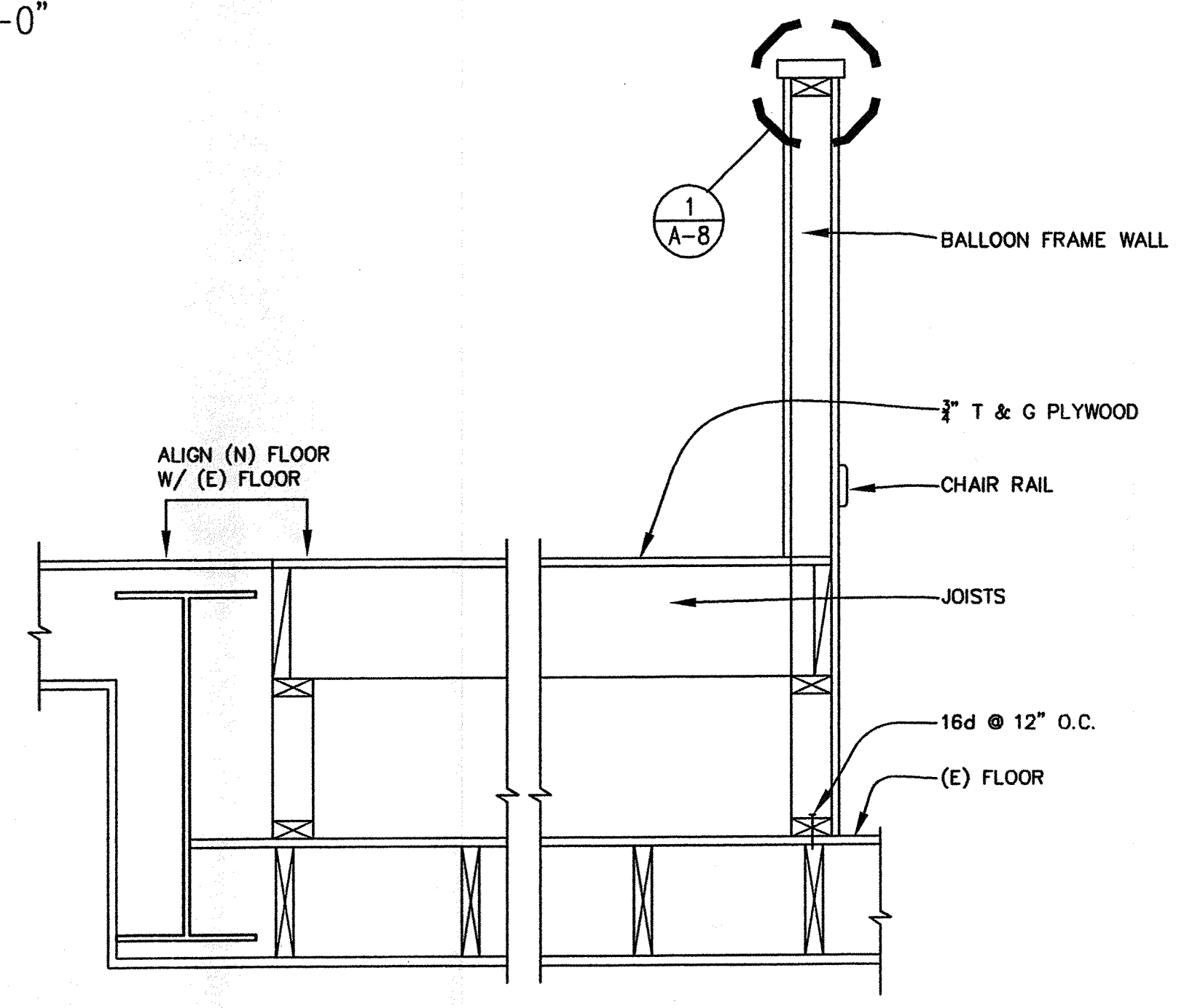
SHEET NO.: **A-2**



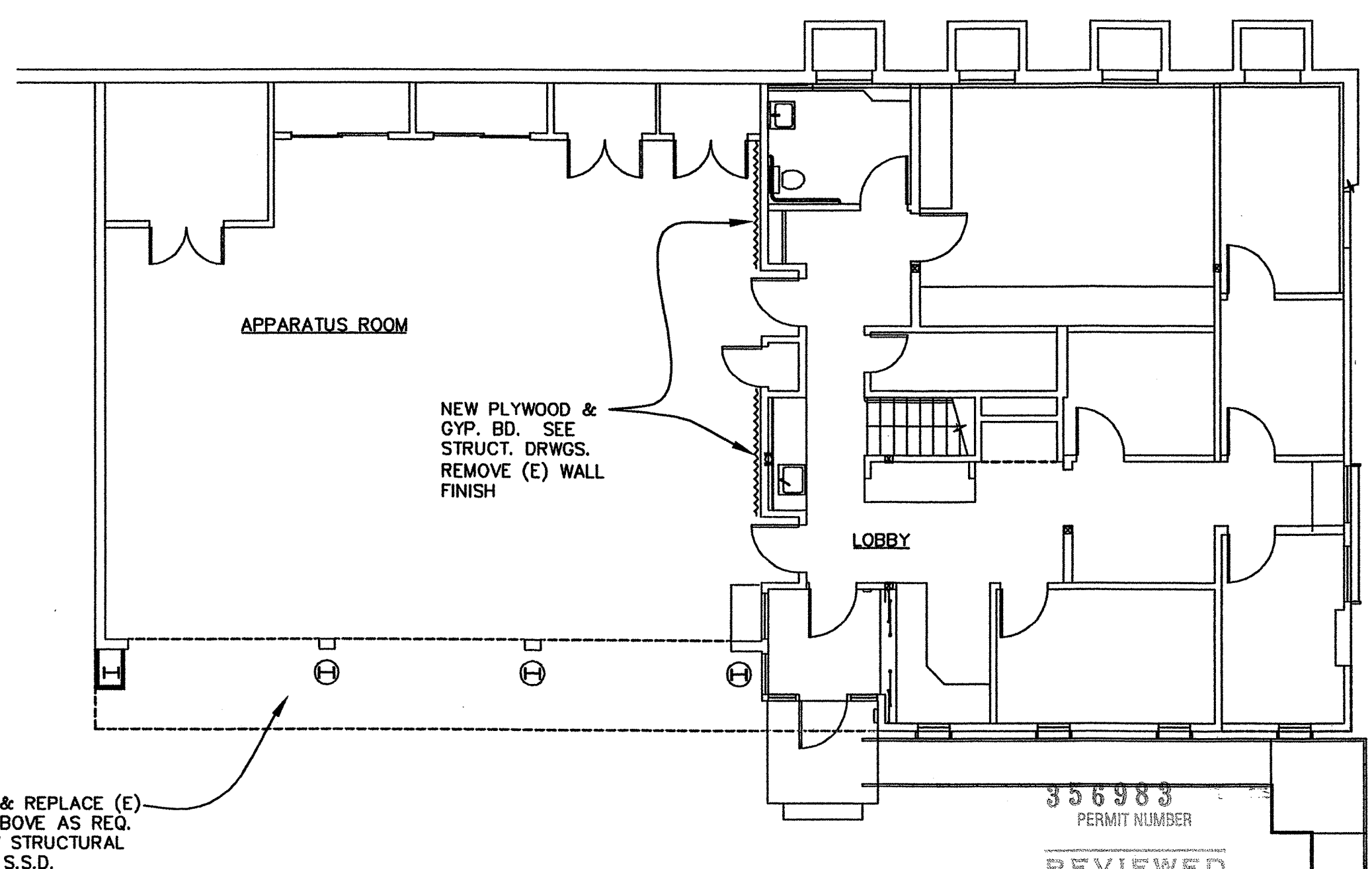
A BUILDING SECTION
A-2 1/4" = 1'-0"

B BUILDING SECTION
A-2 1/4" = 1'-0"

NOTE: BUILDING SECTION TAKEN FROM OWNERS ARCHIVED DRAWINGS.
ARCHIVED DRAWINGS ARE AVAILABLE FOR REVIEW AT JOB SITE.



1 FLOOR FRAMING
A-2 1" = 1'-0"



3 1ST FLOOR PLAN
A-2 1/8" = 1'-0"

356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
BUILDING ORD. AND CODES.
THE SEALERS OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE HELD
RESPONSIBLE FOR THE ACCURACY OF
THESE PLANS OR FOR THE RESULTS OF
THEIR USE BY ANY COUNTY ORANGE OR
OTHER LOCAL AGENCY.

Edna Rodriguez
CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION

These plans must be kept on
the premises and accessible
to the Inspector at all times.

STAMP:

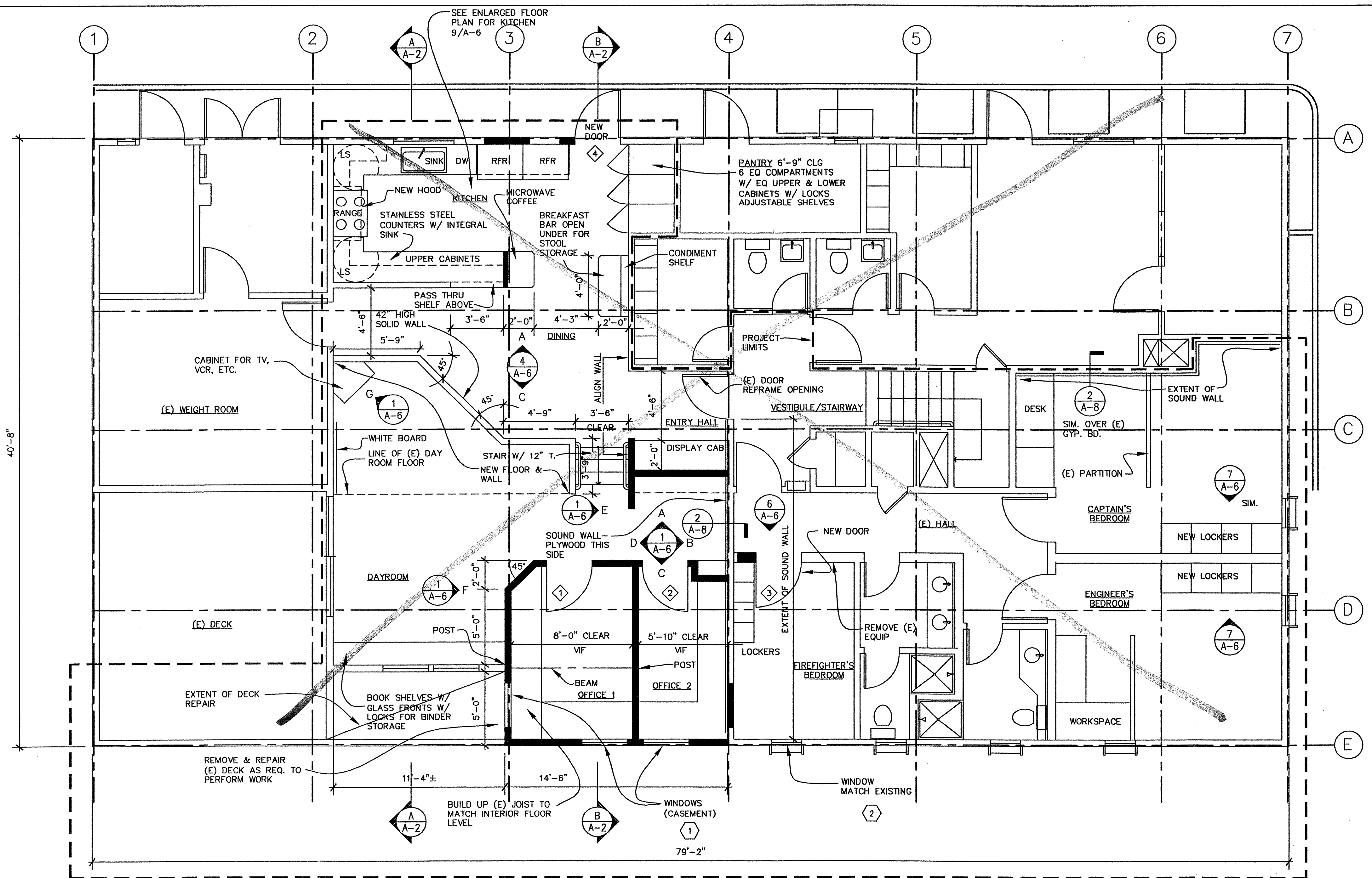
REVISIONS:	No.	DESCRIPTION	DATE

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

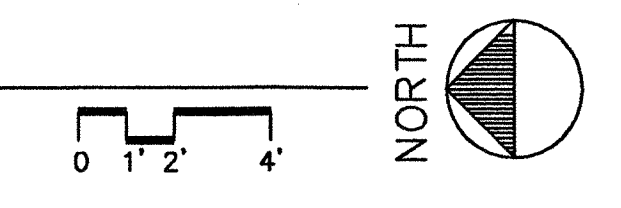
DRAWING TITLE
**BUILDING SECTIONS
1ST FLOOR PLAN**

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

SHEET NO.: **A-2**



1 SECOND FLOOR PLAN
 A-3 1/4" = 1'-0"



WALL LEGEND:
 (E) WALLS TO REMAIN
 (N) WALLS

CONTRA COSTA COUNTY
 COMMUNITY DEVELOPMENT

ASSESSOR'S PARCEL NO. _____ AN # _____
 PERMIT TYPE CODE _____ ZONING _____
 COMMENTS _____
 PARK DEDICATION # _____ FEES \$ _____ NOT REQUIRED
 FLOOD ZONE # _____ FIRM PANEL NO. _____ NOT REQUIRED
 CHILD CARE # _____ FEES \$ _____ NOT REQUIRED
 OTHER # _____ FEES \$ _____ NOT REQUIRED
 BY: *[Signature]* DATE: 8.7.04

see revision

356983
 PERMIT NUMBER

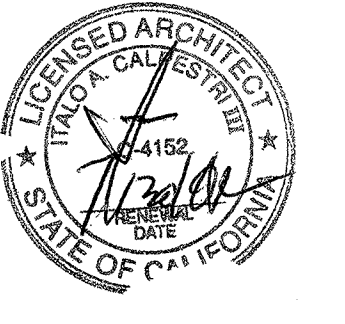
REVIEWED
 FOR COMPLIANCE WITH COUNTY
 BUILDING ORD. AND CODES.
 THE STAMPS OF THIS PLAN AND
 SPECIFICATIONS SHALL NOT BE HELD
 TO BE VALID OR TO BE IN COMPLIANCE WITH
 THE STATE OF CALIFORNIA OR
 ANY COUNTY ORDINANCE OR
 STATE LAW.

CONTRA COSTA COUNTY
 DIRECTOR OF
 BUILDING INSPECTION

These plans must be kept on
 the premises and accessible
 to the inspector at all times.

ITALO A. CALPESTRI III
 & ASSOCIATES AIA

BANK OF AMERICA BUILDING
 1504 PARK STREET, SUITE 7
 ALAMEDA, CA 94501
 TEL: (510) 522-6769
 FAX: (510) 521-1427



STAMP:

REVISIONS:	DESCRIPTION	DATE
No.		

PROJECT
 KENSINGTON FIRE STATION
 215 ARLINGTON AVENUE
 KENSINGTON, CA 94707

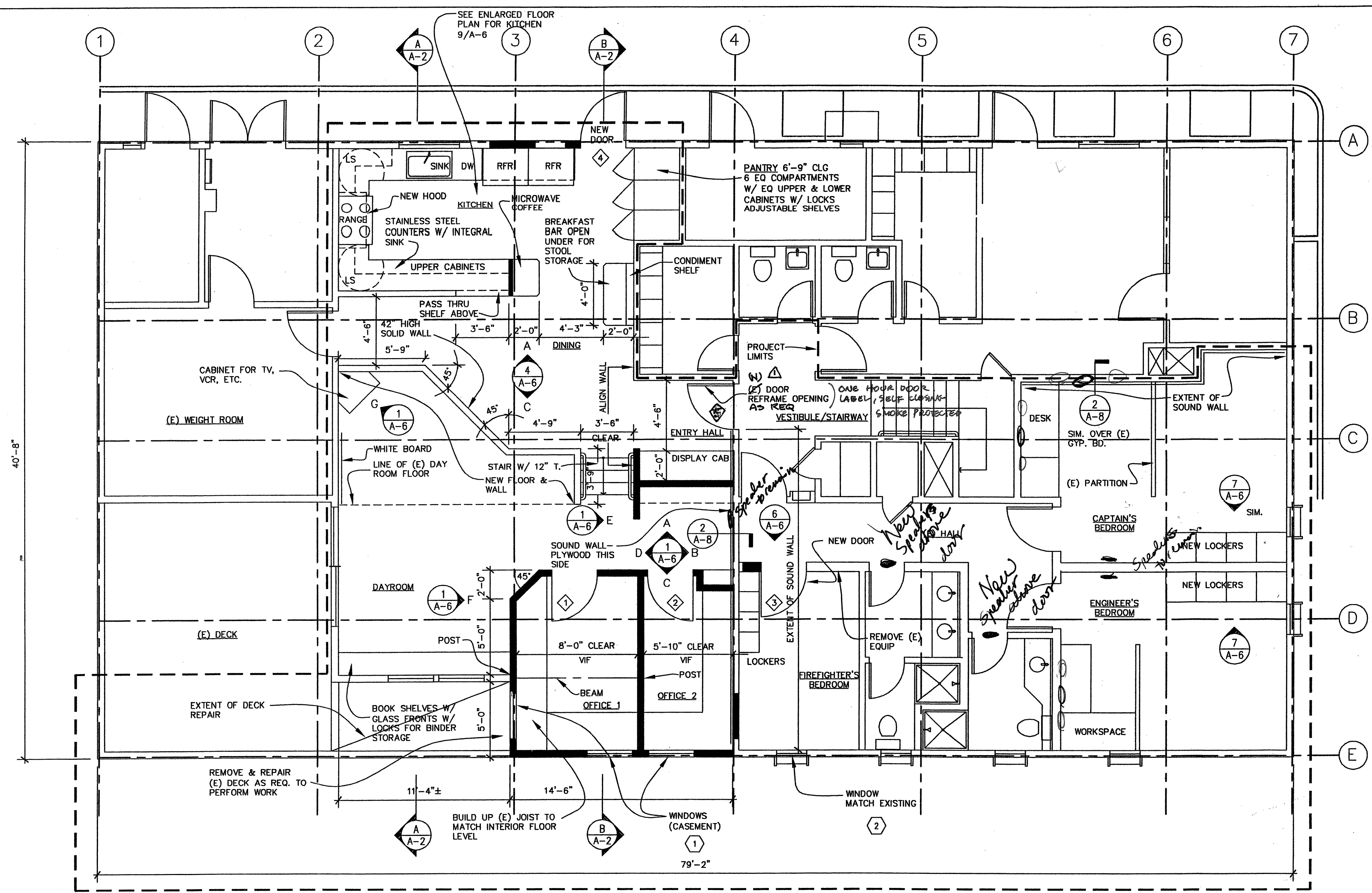
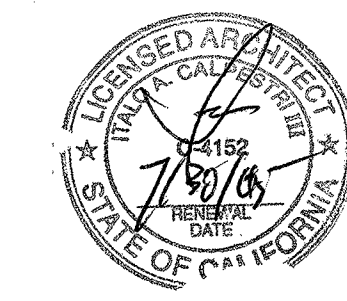
DRAWING TITLE
 SECOND FLOOR PLAN

PROJECT No. : 2324
 DRAWN BY: TJ
 CHECKED BY: IAC
 DATE: 07-29-04
 SCALE: AS NOTED

SHEET NO.: A-3

ITALO A. CALPESTRI III
& ASSOCIATES AIA

BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



1 SECOND FLOOR PLAN
A-3 1/4" = 1'-0"

WALL LEGEND:
 (E) WALLS TO REMAIN
 (N) WALLS

- 4 plug outlets
- Phone jacks
- Radio speaker
- See Detail A2
- ADD? SEE 7

REVISIONS:	DESCRIPTION	DATE
1	DOOR (S) ADDED	11/6/84
2	1/2" HR WALL	

PROJECT
KENSINGTON FIRE STATION
 215 ARLINGTON AVENUE
 KENSINGTON, CA 94707

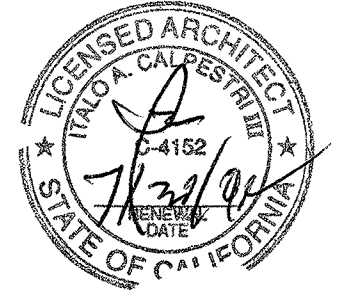
DRAWING TITLE
SECOND FLOOR PLAN

PROJECT No. :	2324
DRAWN BY:	TJ
CHECKED BY:	IAC
DATE:	07-29-04
SCALE:	AS NOTED

SHEET NO.: **A-3**

ITALO A. CALPESTRI III
& ASSOCIATES AIA

BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



STAMP:

REVISIONS:		
No.	DESCRIPTION	DATE

PROJECT

DRAWING TITLE
EXTERIOR ELEVATIONS

PROJECT No. :
DRAWN BY: TJ
CHECKED BY: IAC
DATE:
SCALE: AS NOTED

SHEET NO.: **A-4**

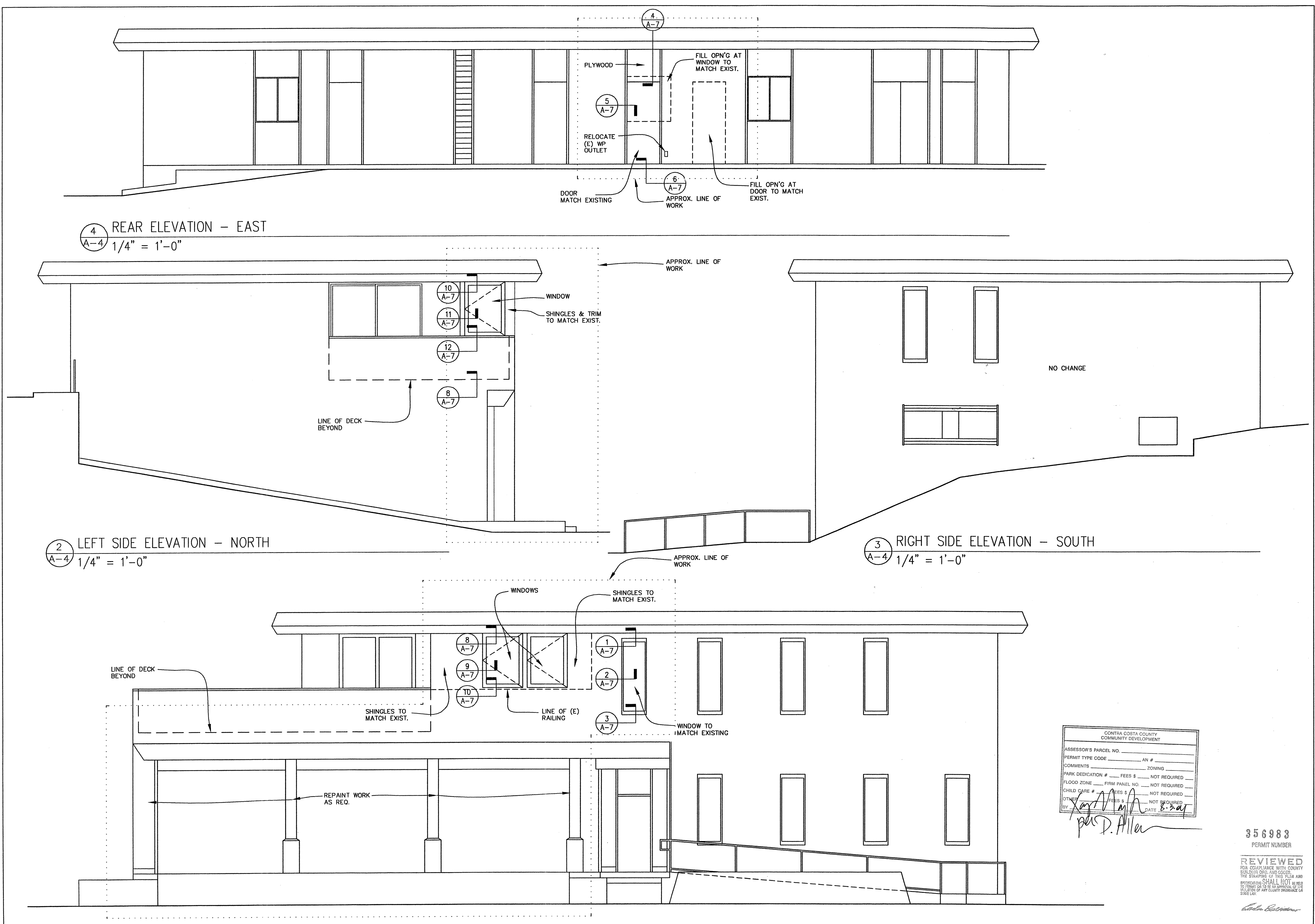
CONTRA COSTA COUNTY COMMUNITY DEVELOPMENT	
ASSESSOR'S PARCEL NO. _____	AN # _____
PERMIT TYPE CODE _____	ZONING _____
COMMENTS _____	PARK DEDICATION # _____ FEES \$ _____ NOT REQUIRED
FLOOD ZONE _____ FIRM PANEL NO. _____ NOT REQUIRED	CHILD CARE # _____ FEES \$ _____ NOT REQUIRED
OTHER # _____ FEES \$ _____ NOT REQUIRED	DATE 8-24

356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
SECTION 18011 AND 18012
THE STAMPING OF THIS PLAN AND
PROPOSITION SHALL NOT BE HELD
TO BE RESPONSIBLE FOR THE
CORRECTNESS OF ANY COUNTY ORDINANCE OR
REGULATION

[Signature]
DIRECTOR OF
BUILDING INSPECTION

These plans must be kept on
the premises and accessible
to the inspector at all times.

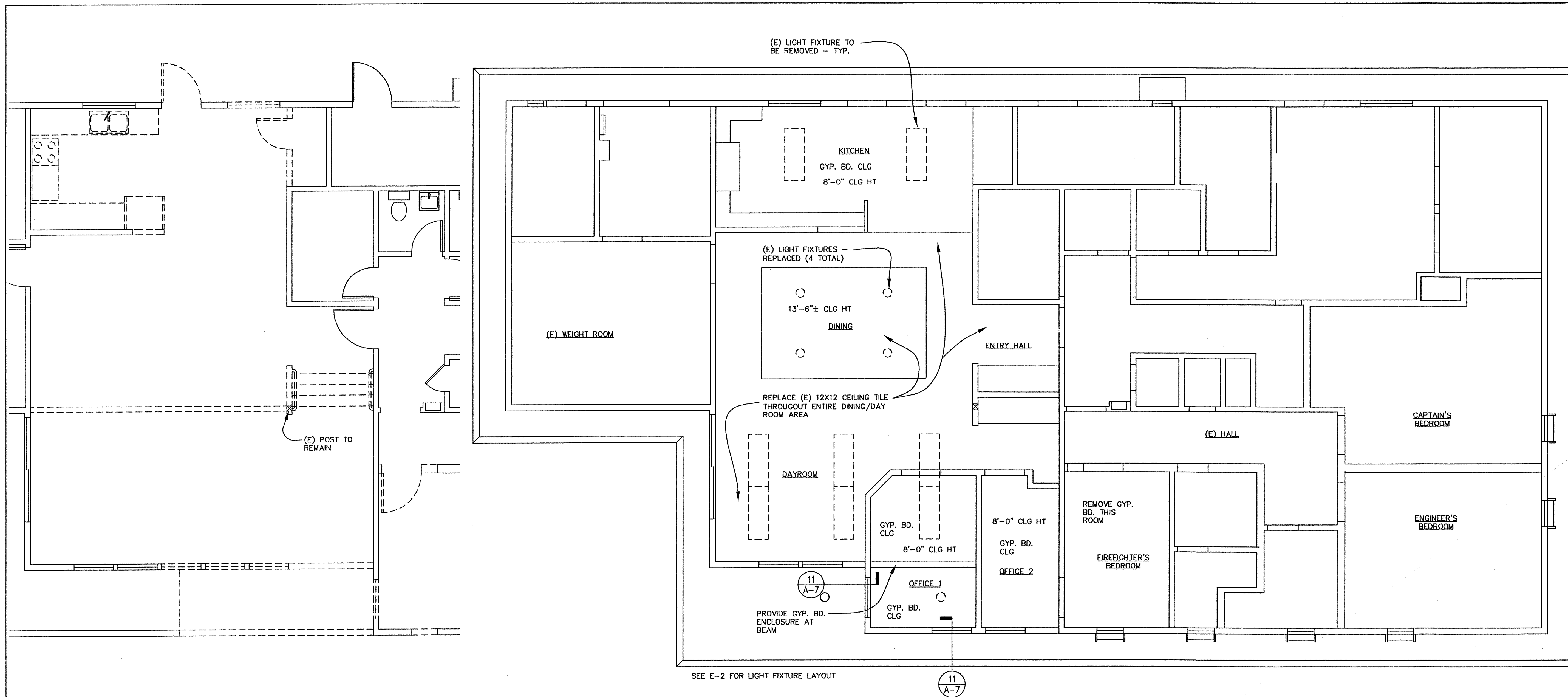


4 REAR ELEVATION - EAST
A-4 1/4" = 1'-0"

2 LEFT SIDE ELEVATION - NORTH
A-4 1/4" = 1'-0"

3 RIGHT SIDE ELEVATION - SOUTH
A-4 1/4" = 1'-0"

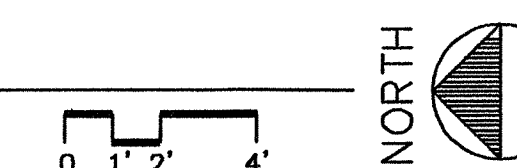
1 FRONT ELEVATION - WEST
A-4 1/4" = 1'-0"



1 PARTIAL SECOND FLOOR DEMOLITION PLAN
A-5 1/4" = 1'-0"

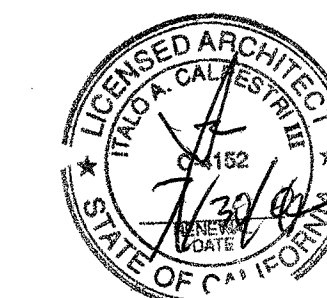
2 SECOND FLOOR REFLECTED CEILING PLAN
A-5 1/4" = 1'-0"

WALL LEGEND:
 (E) WALLS TO BE REMOVED



ITALO A. CALPESTRI III
& ASSOCIATES AIA

BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



STAMP:

REVISIONS:
No. DESCRIPTION DATE

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
SECOND FLOOR RCP
SECOND FLOOR DEMO PLAN

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
BUILDING ORDINANCES AND CODES.
THE STAMPING OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE HELD
RESPONSIBLE FOR THE VIOLATION OF ANY COUNTY ORDINANCE OR
STATE LAW.

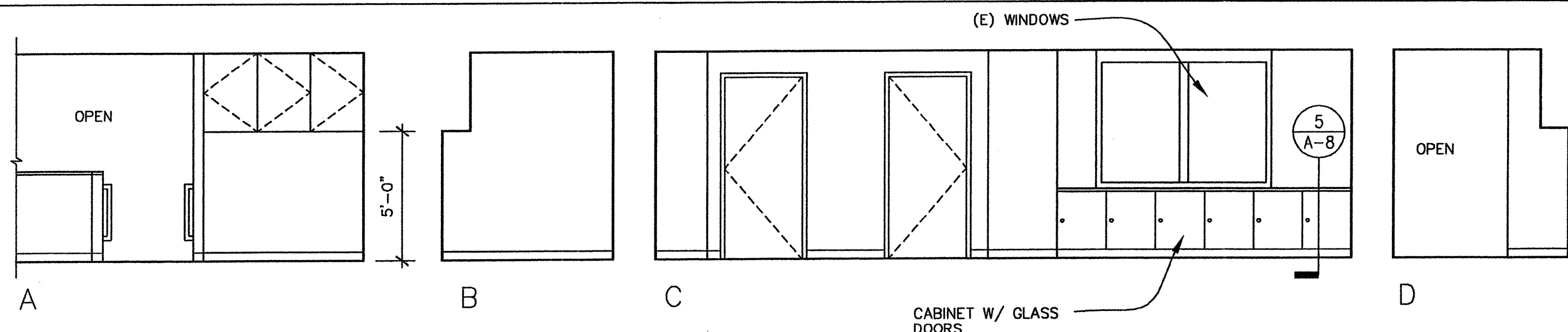
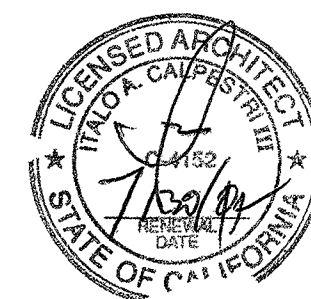
Italo Calpestri

CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION

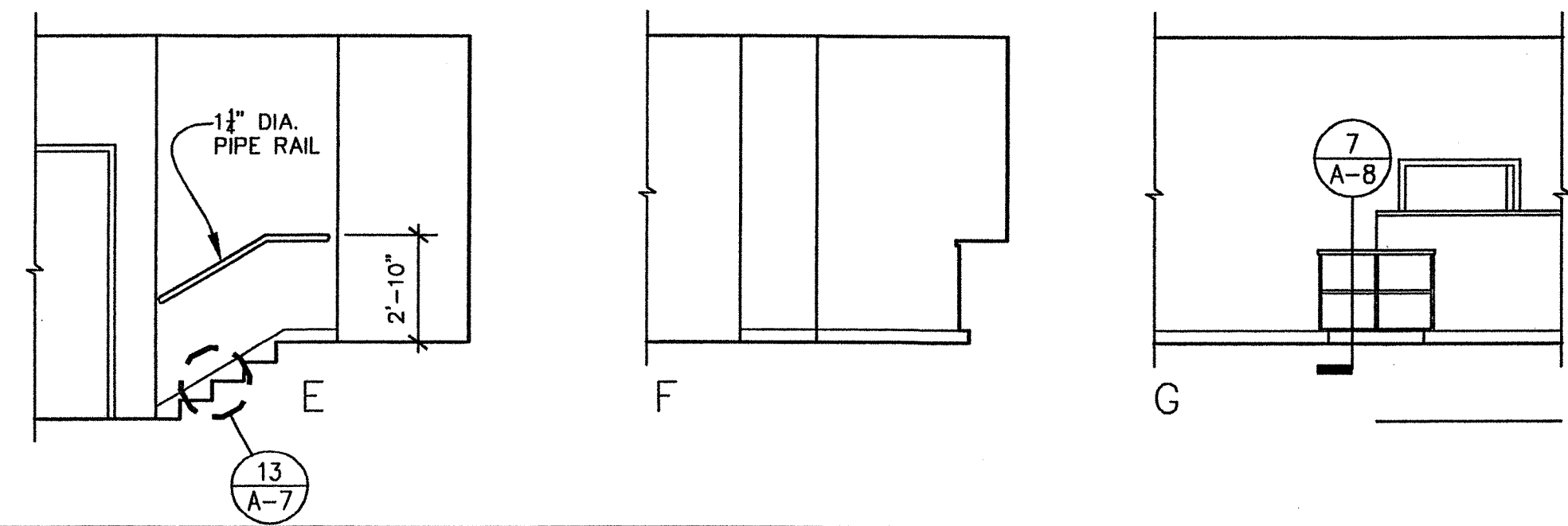
These plans must be kept on
the premises and accessible
to the Inspector at all times.

SHEET NO.:

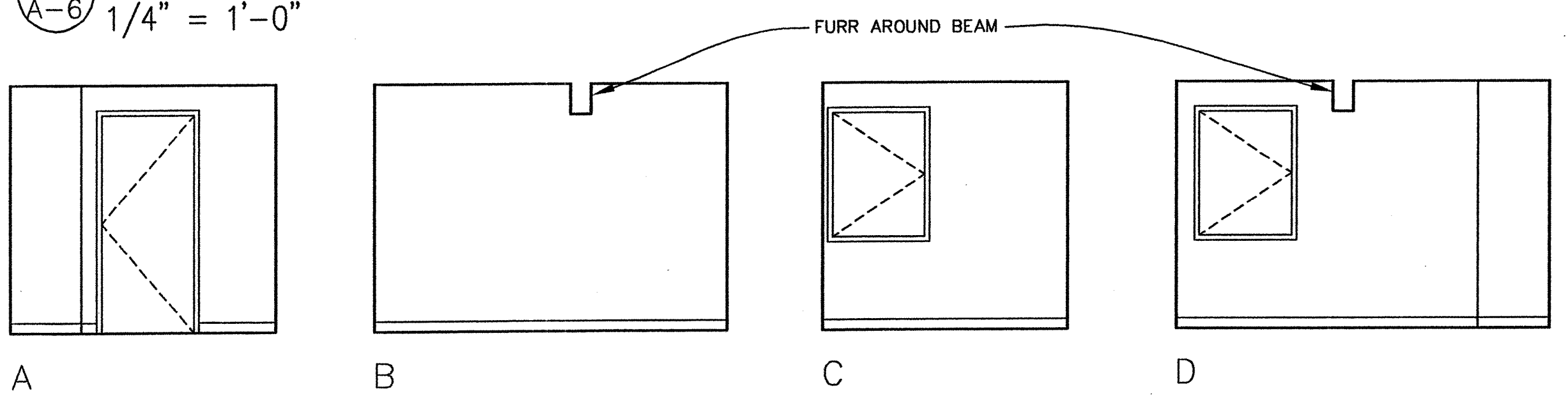
A-5



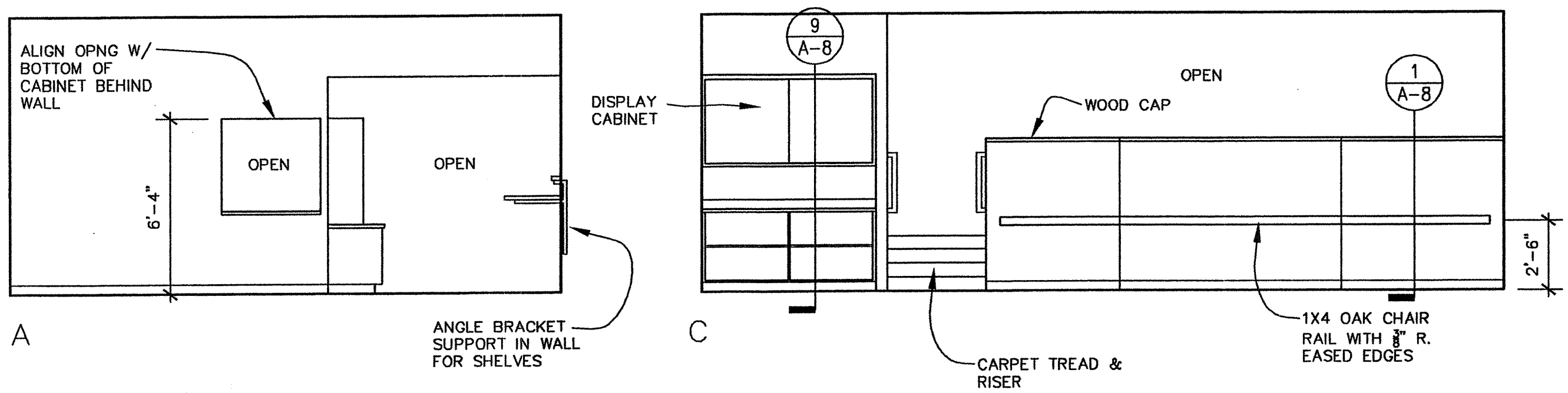
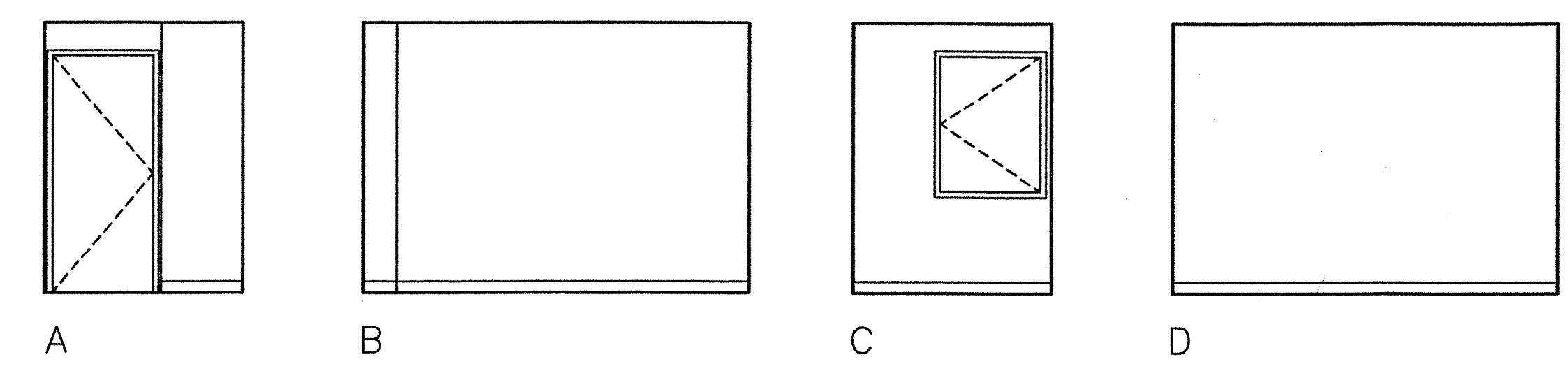
1 DAYROOM
A-6 1/4" = 1'-0"



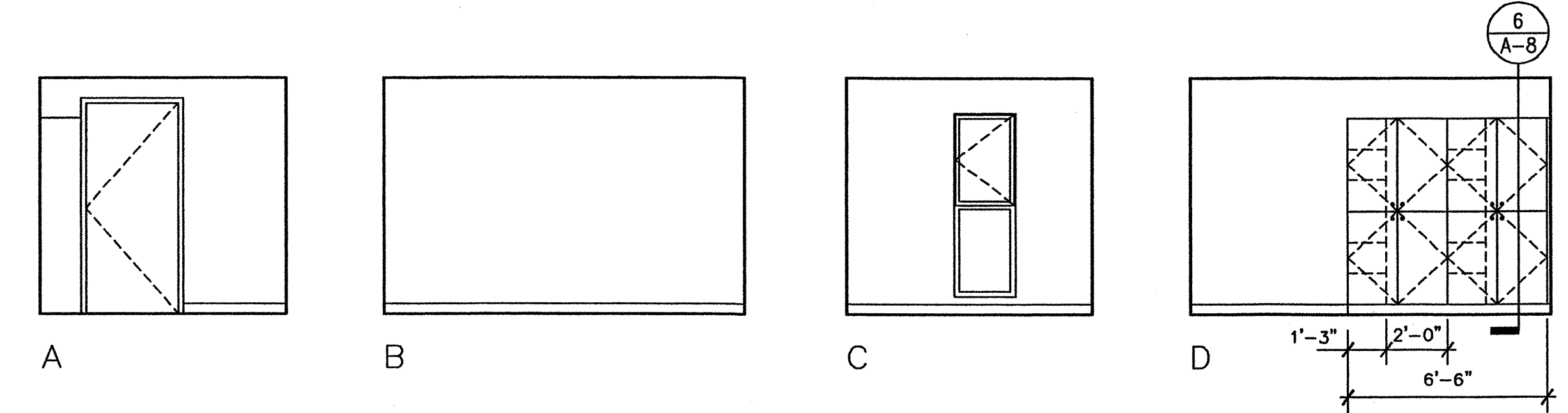
3 OFFICE 2
A-6 1/4" = 1'-0"



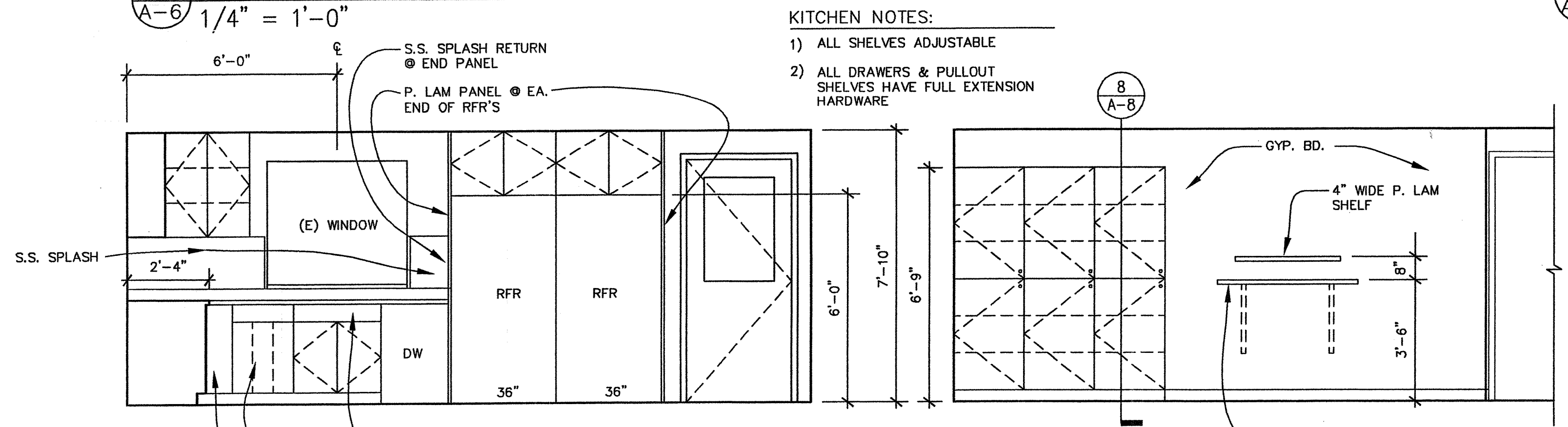
2 OFFICE 1
A-6 1/4" = 1'-0"



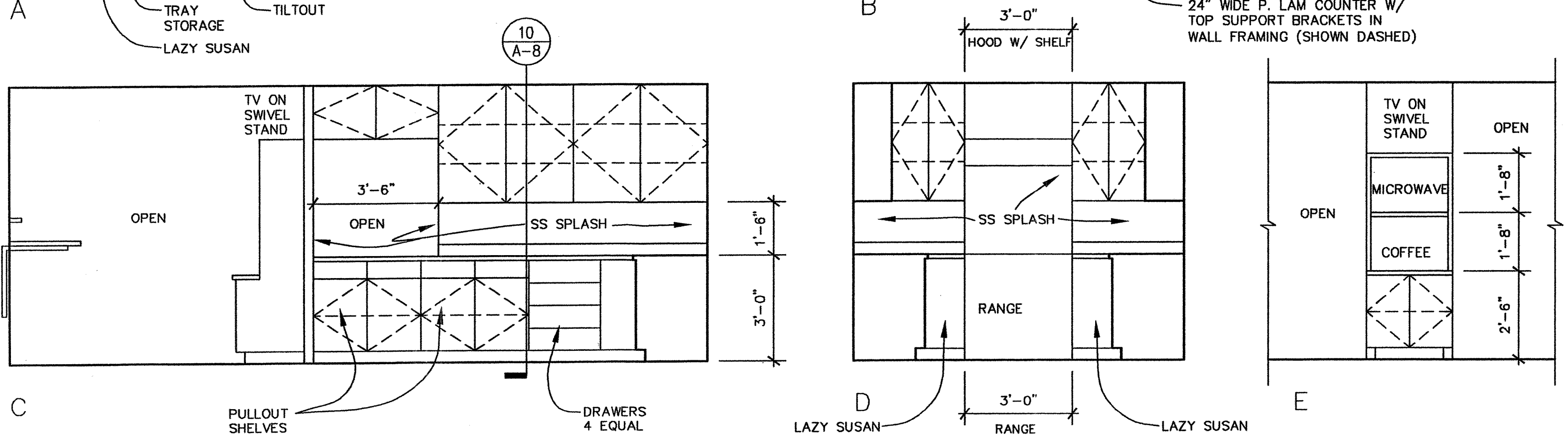
4 DINING
A-6 1/4" = 1'-0"



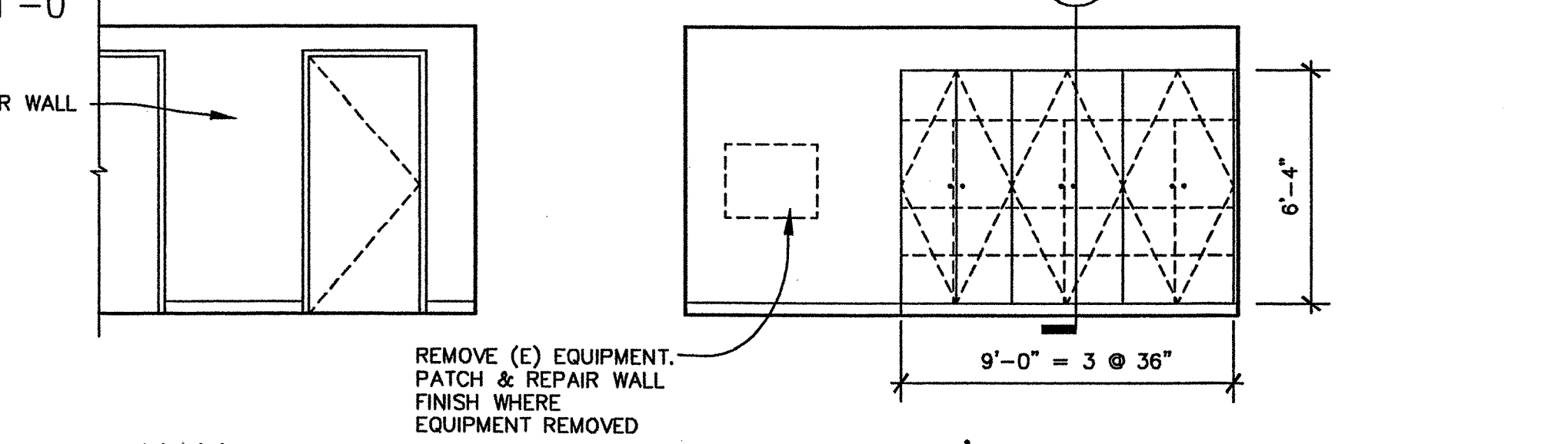
5 FIREFIGHTER'S BEDROOM
A-6 1/4" = 1'-0"



KITCHEN NOTES:
1) ALL SHELVES ADJUSTABLE
2) ALL DRAWERS & PULLOUT SHELVES HAVE FULL EXTENSION HARDWARE

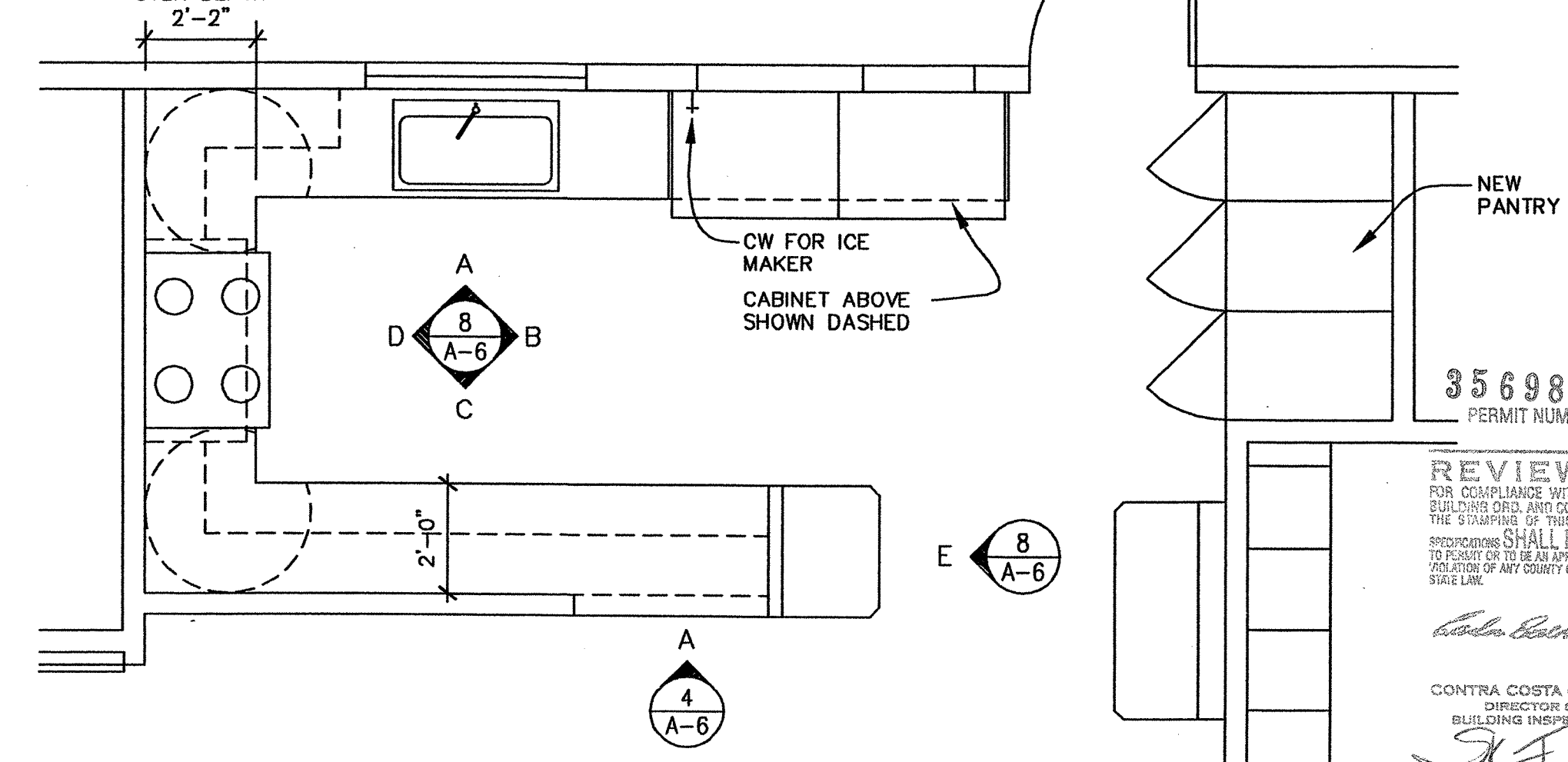


8 KITCHEN
A-6 3/8" = 1'-0"



6 HALL
A-6 1/4" = 1'-0"

7 ENGINEER'S BEDROOMS
A-6 1/4" = 1'-0"



9 ENLARGED FLOOR PLAN @ KITCHEN
A-6 3/8" = 1'-0"

STAMP:

REVISIONS:

No.	DESCRIPTION	DATE

PROJECT: KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE: INTERIOR ELEVATIONS

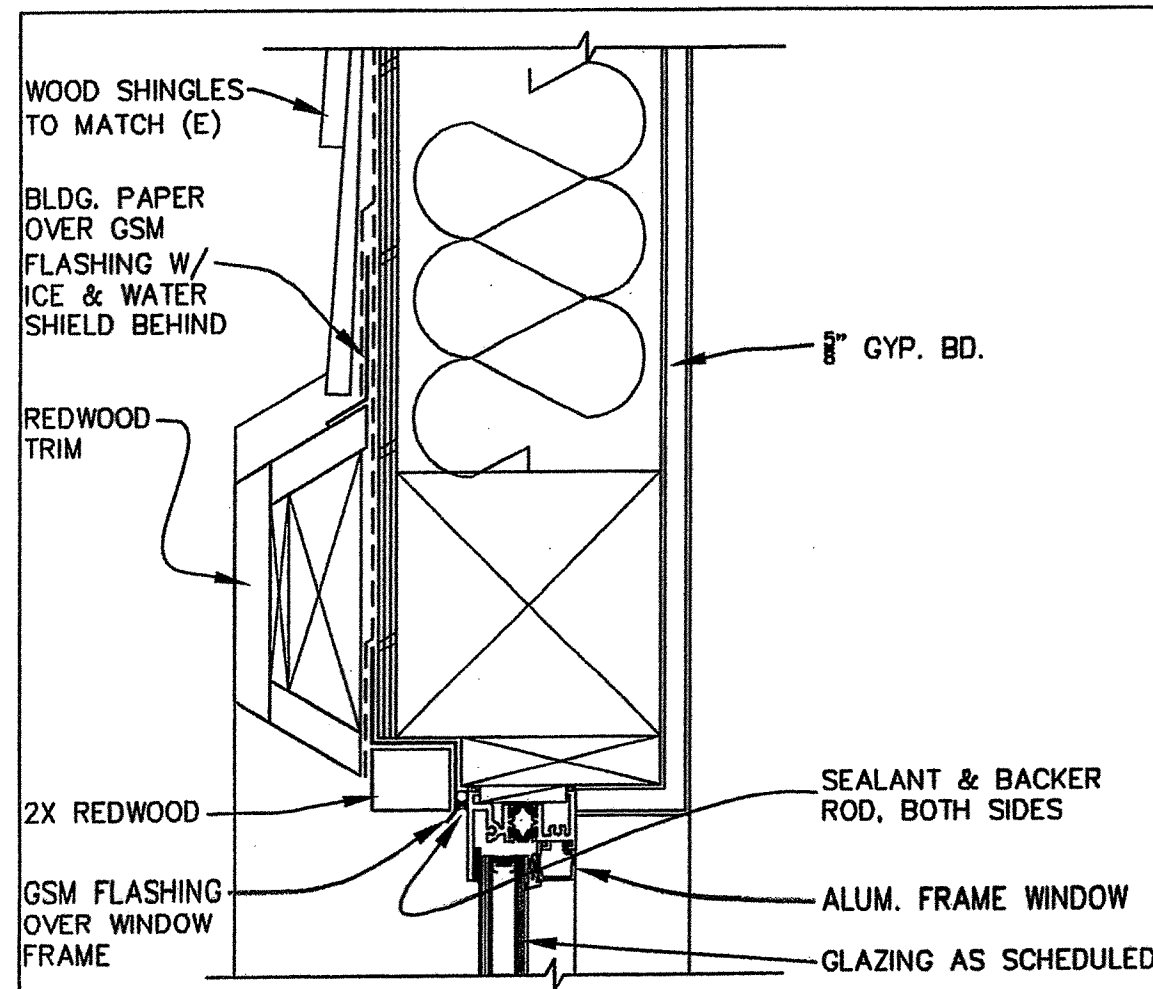
356983 PERMIT NUMBER

REVIEWED FOR COMPLIANCE WITH COUNTY BUILDING DEPARTMENT CODES. THE SIGNATURE OF THIS SEAL AND APPROVAL SHALL NOT BE USED TO PLEAD OR TO BE AN APPROVAL OF THE PROJECT OR ANY COUNTY ORDINANCE OR STATE LAW.

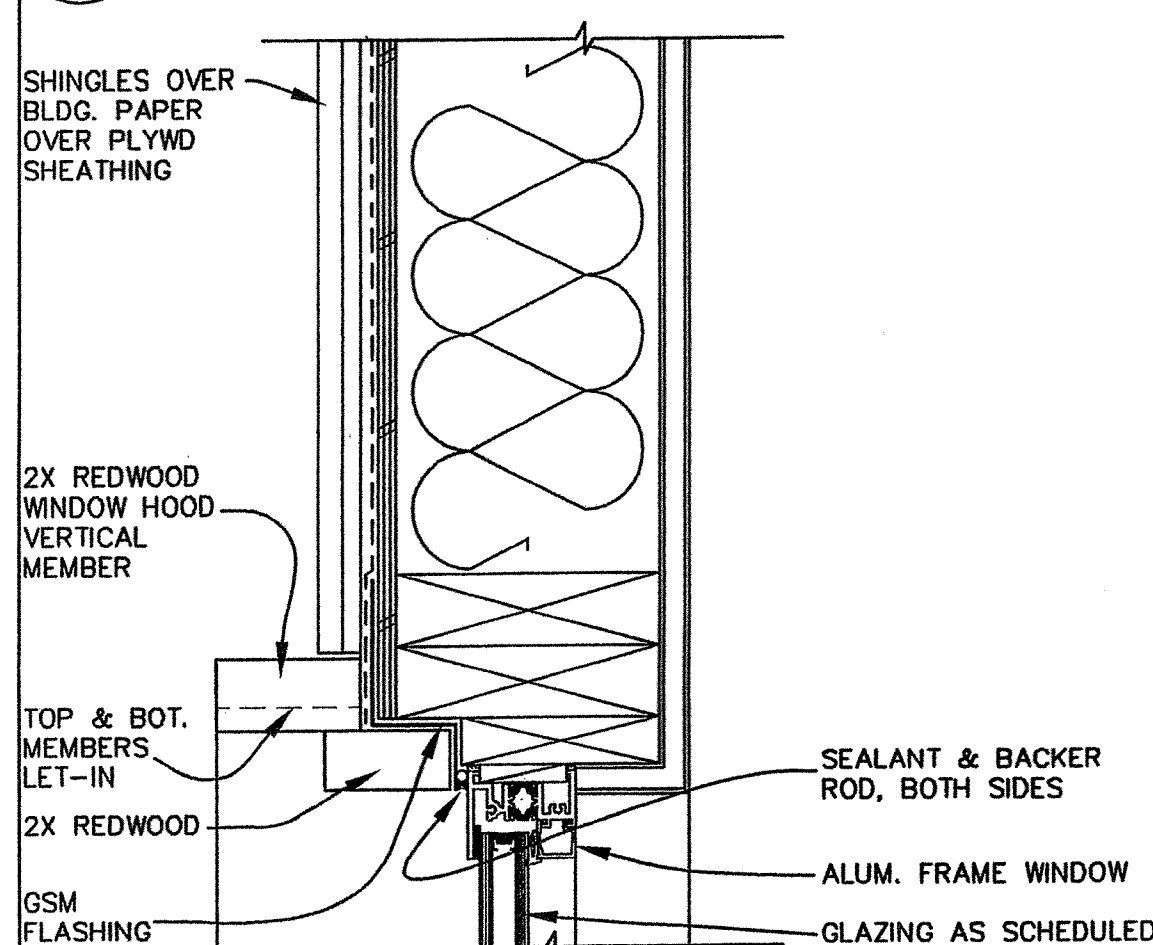
CONTRA COSTA COUNTY DIRECTOR OF BUILDING INSPECTION

PROJECT No.: 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

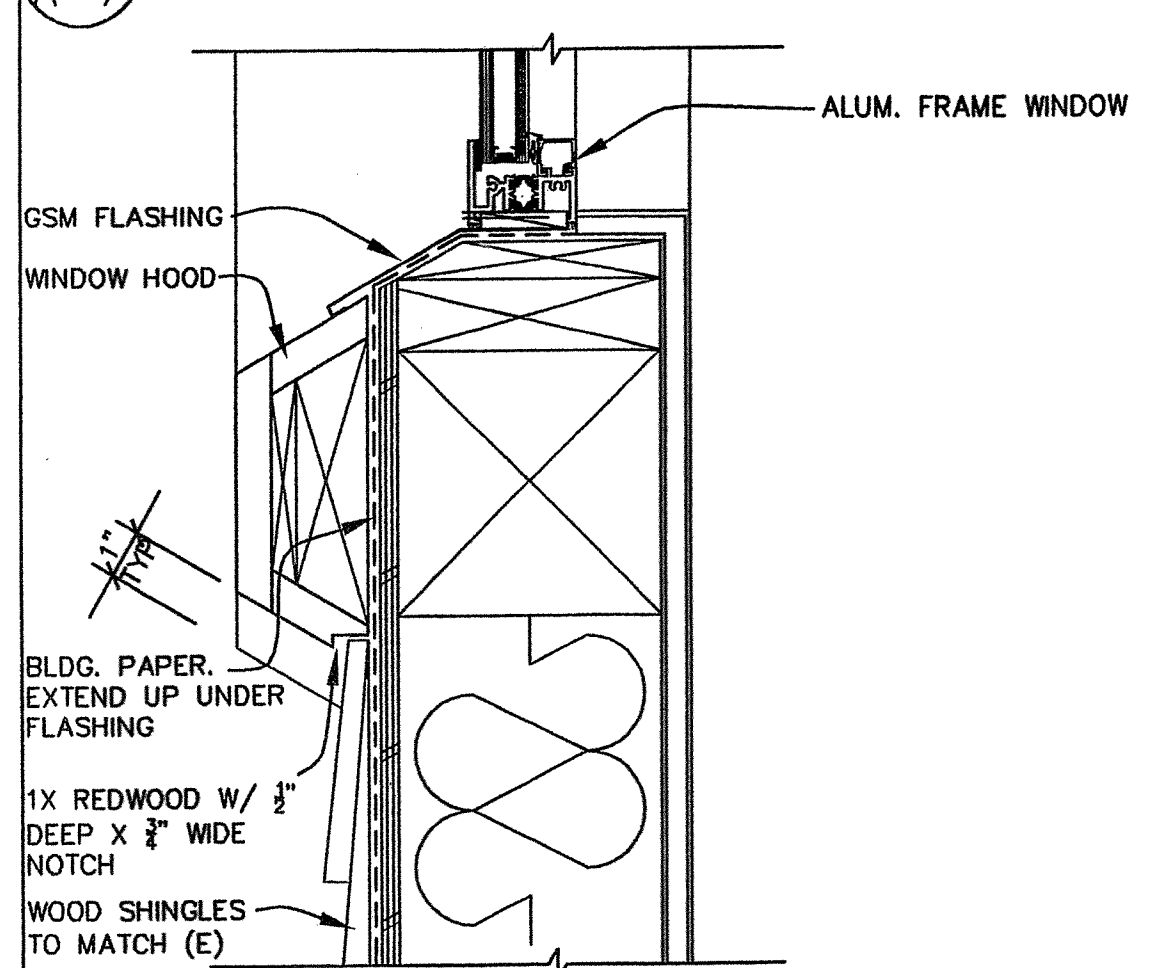
SHEET NO.: A-6



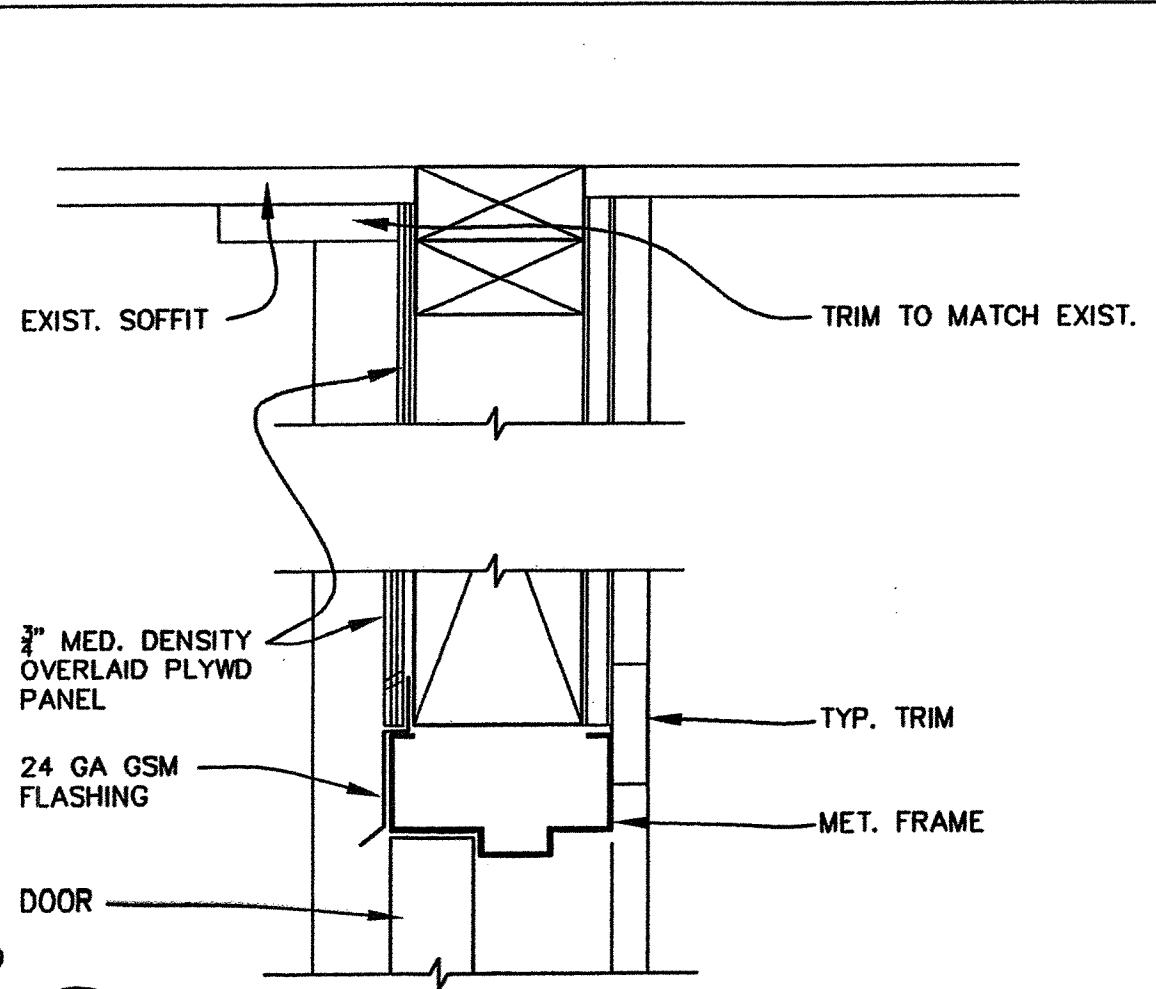
1 ALUM. WINDOW HEAD
A-7 3"=1'-0" WIN-01



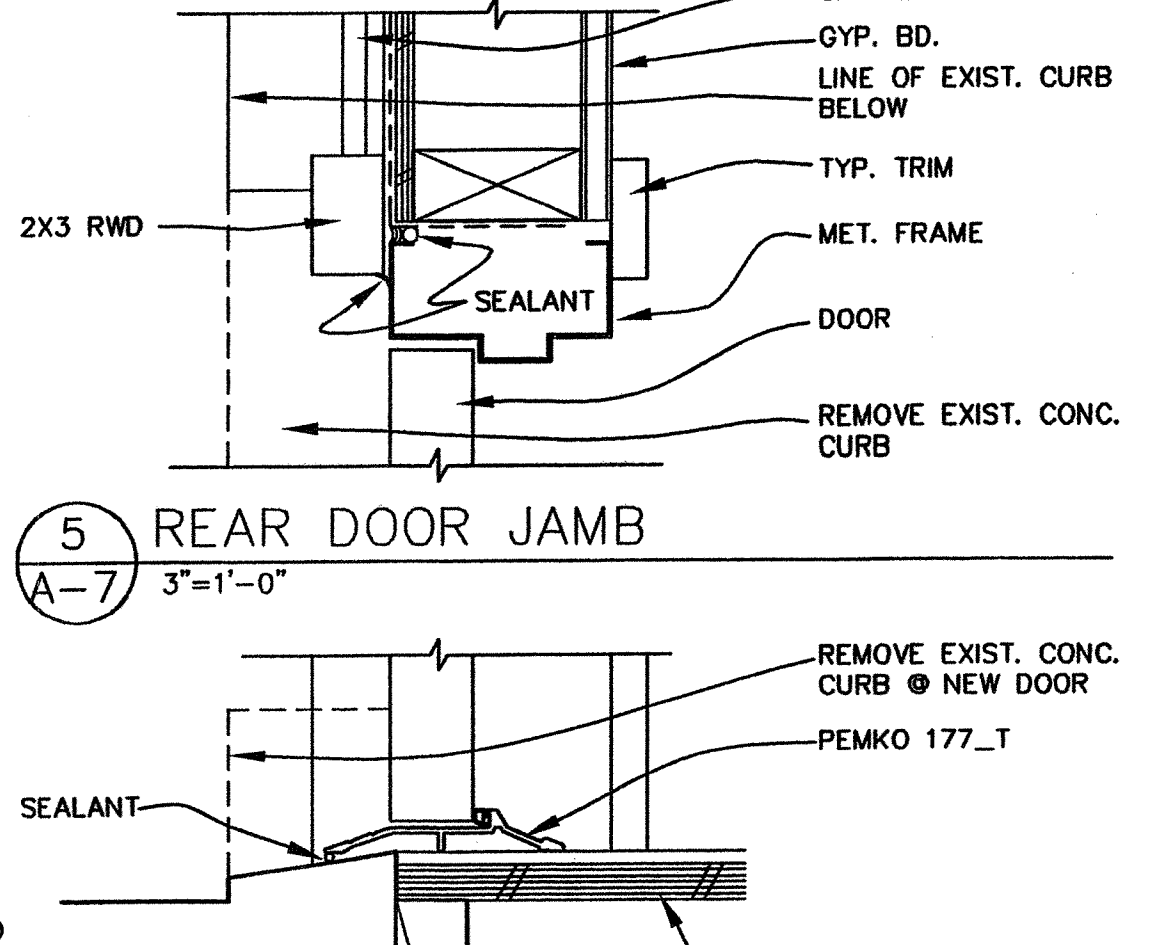
2 ALUM. WINDOW JAMB
A-7 3"=1'-0" WIN-02



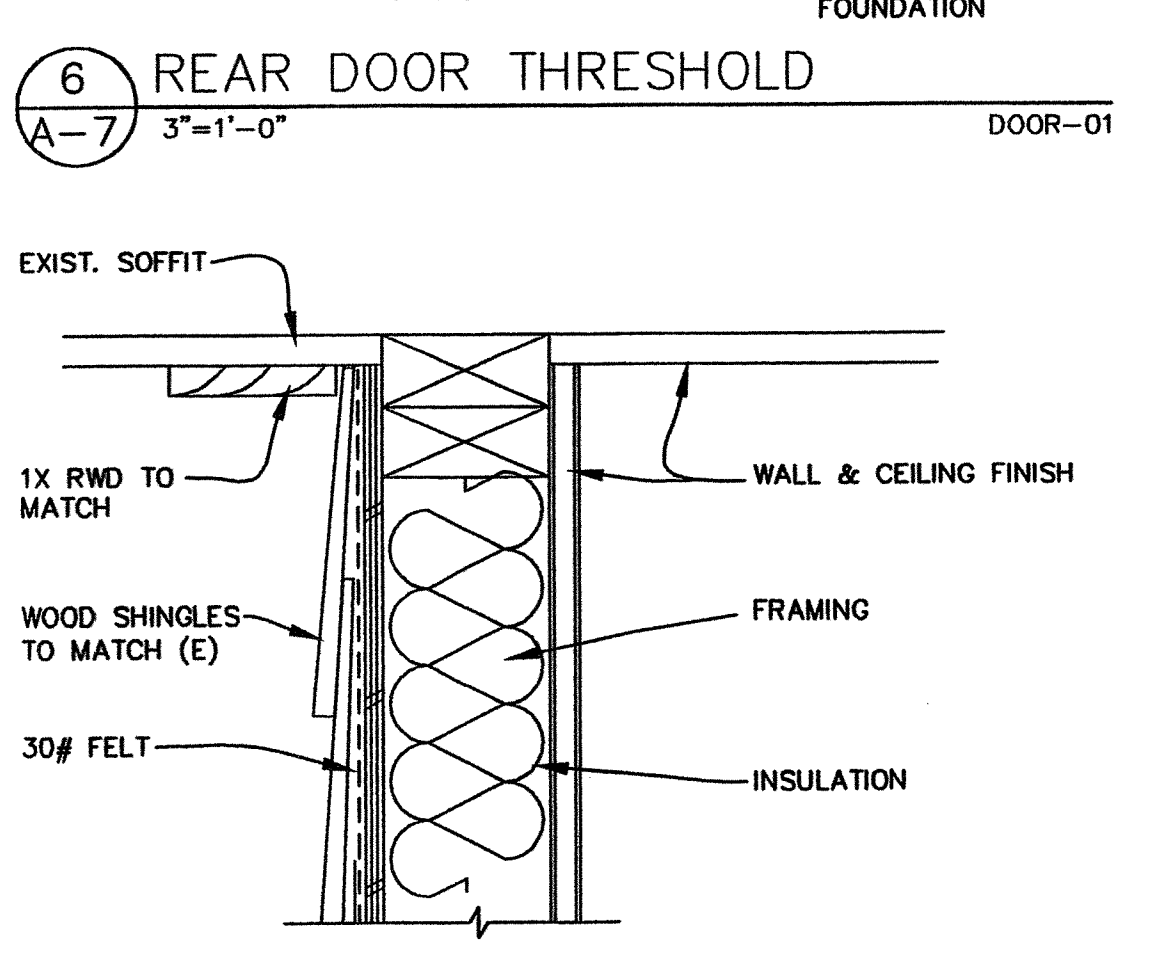
3 ALUM. WINDOW SILL
A-7 3"=1'-0" WIN-03



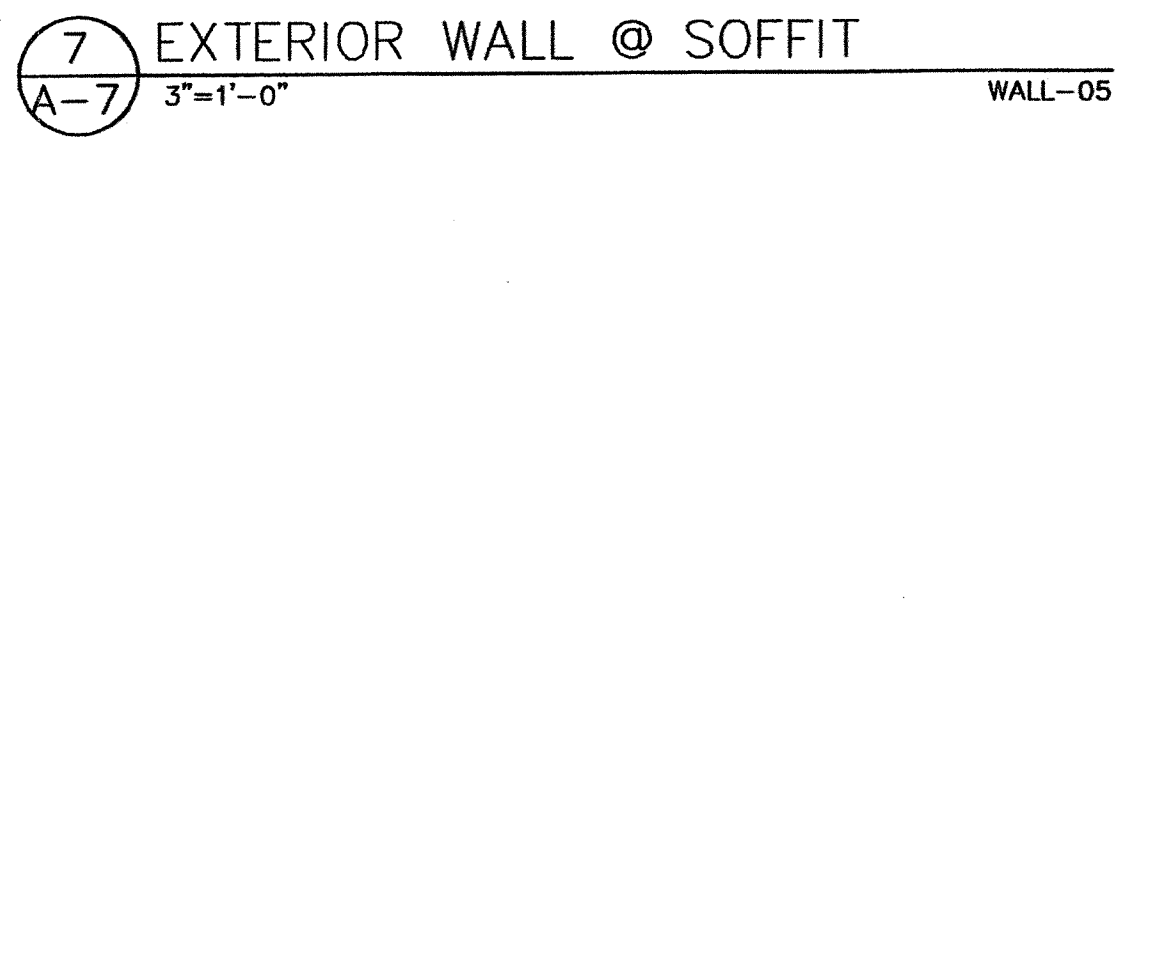
4 REAR DOOR TRANSOM
A-7 3"=1'-0" WIN-01



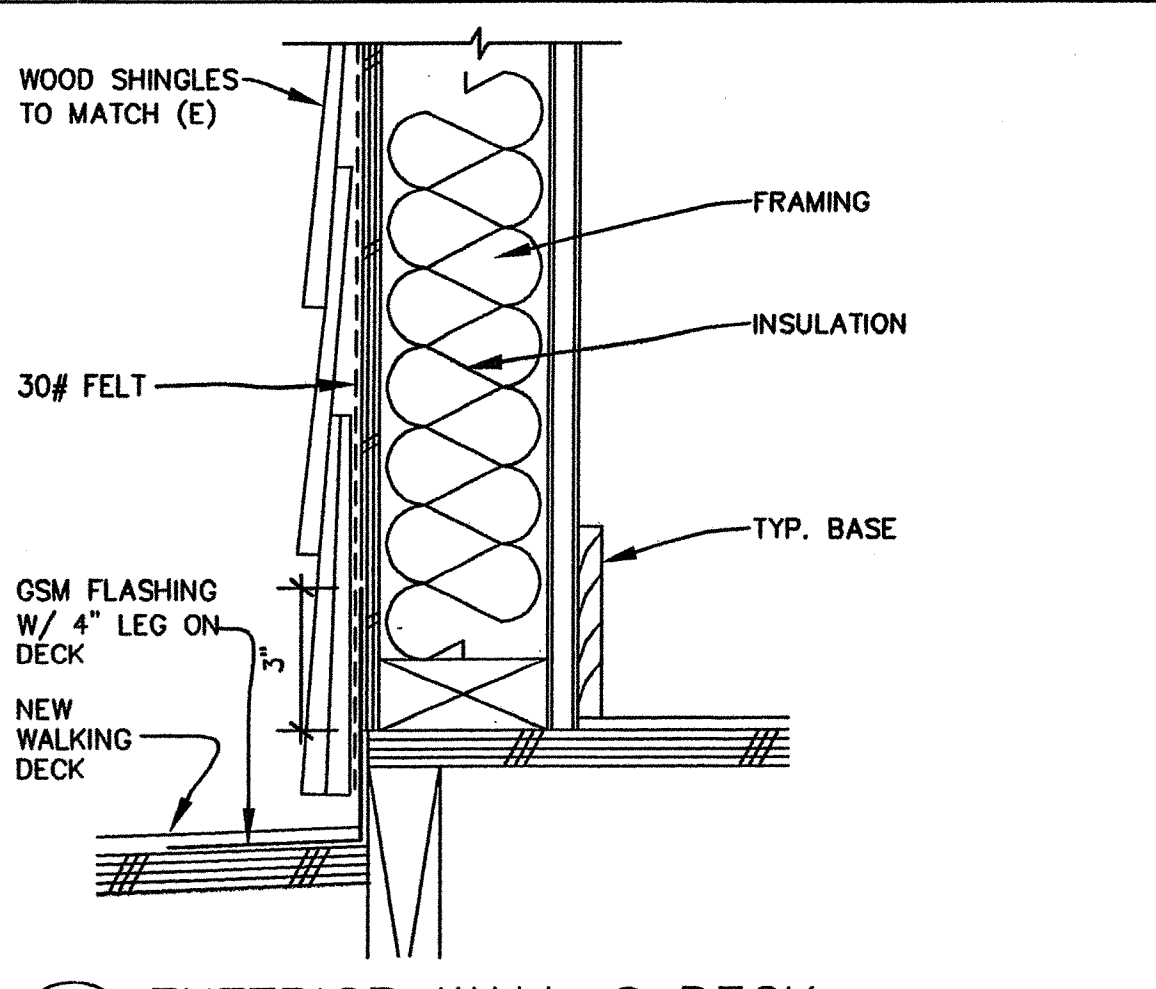
5 REAR DOOR JAMB
A-7 3"=1'-0" WIN-02



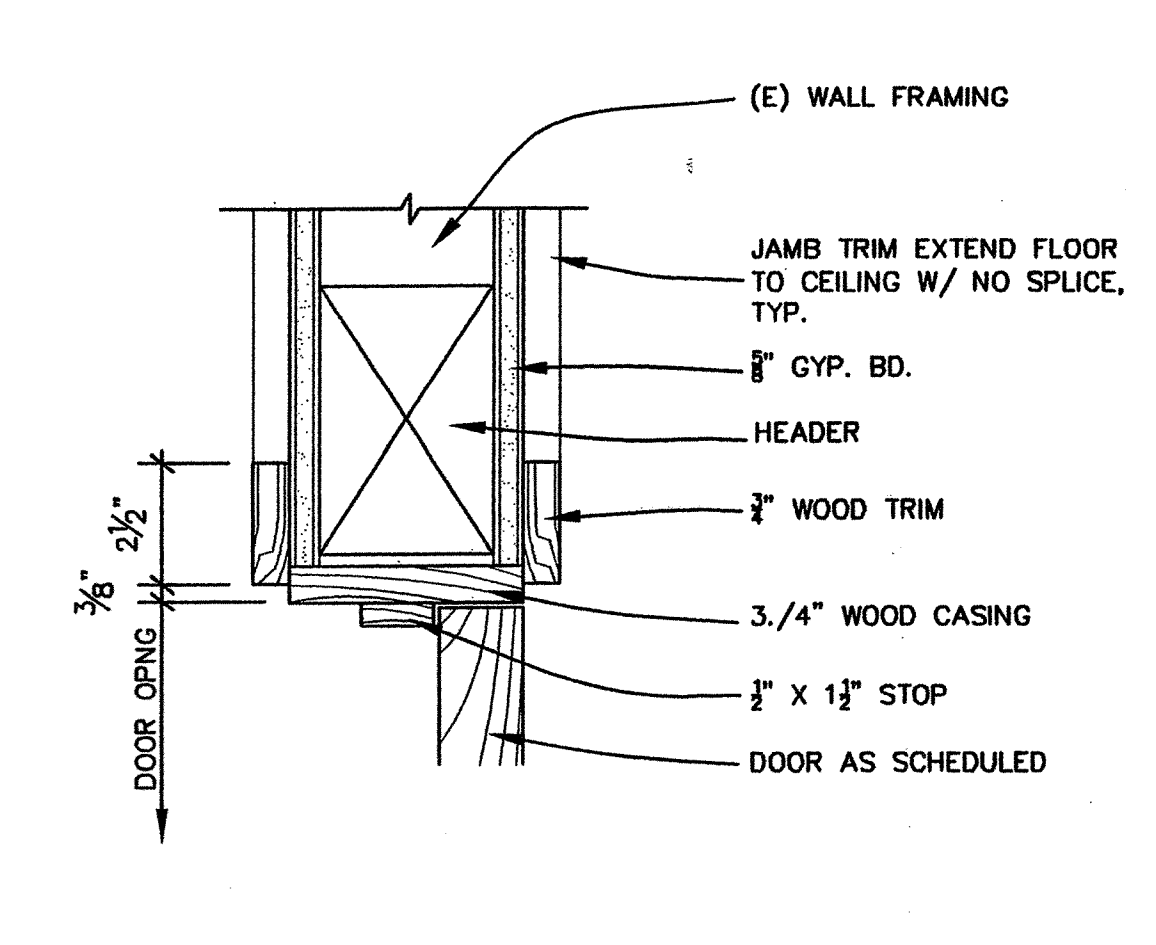
6 REAR DOOR THRESHOLD
A-7 3"=1'-0" DOOR-01



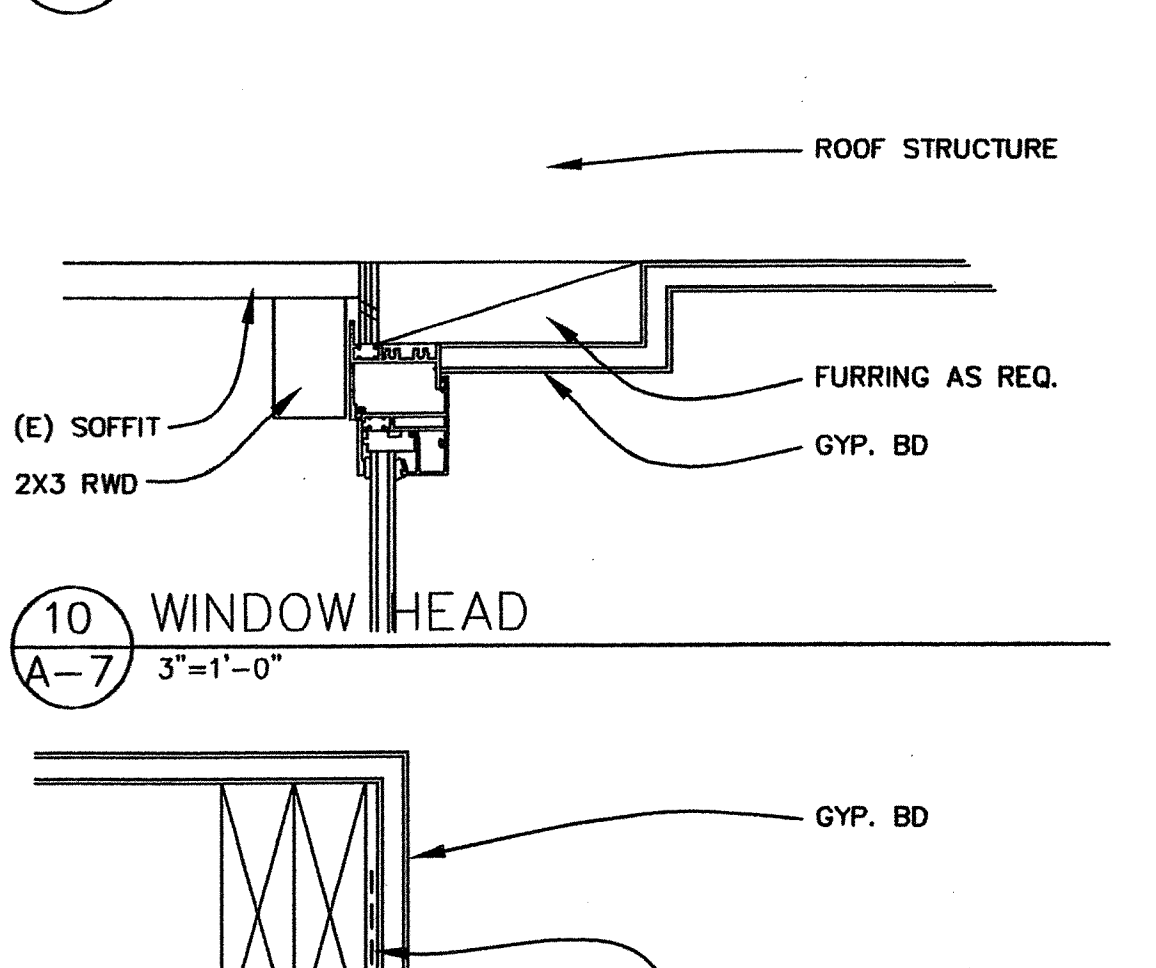
7 EXTERIOR WALL @ SOFFIT
A-7 3"=1'-0" WALL-05



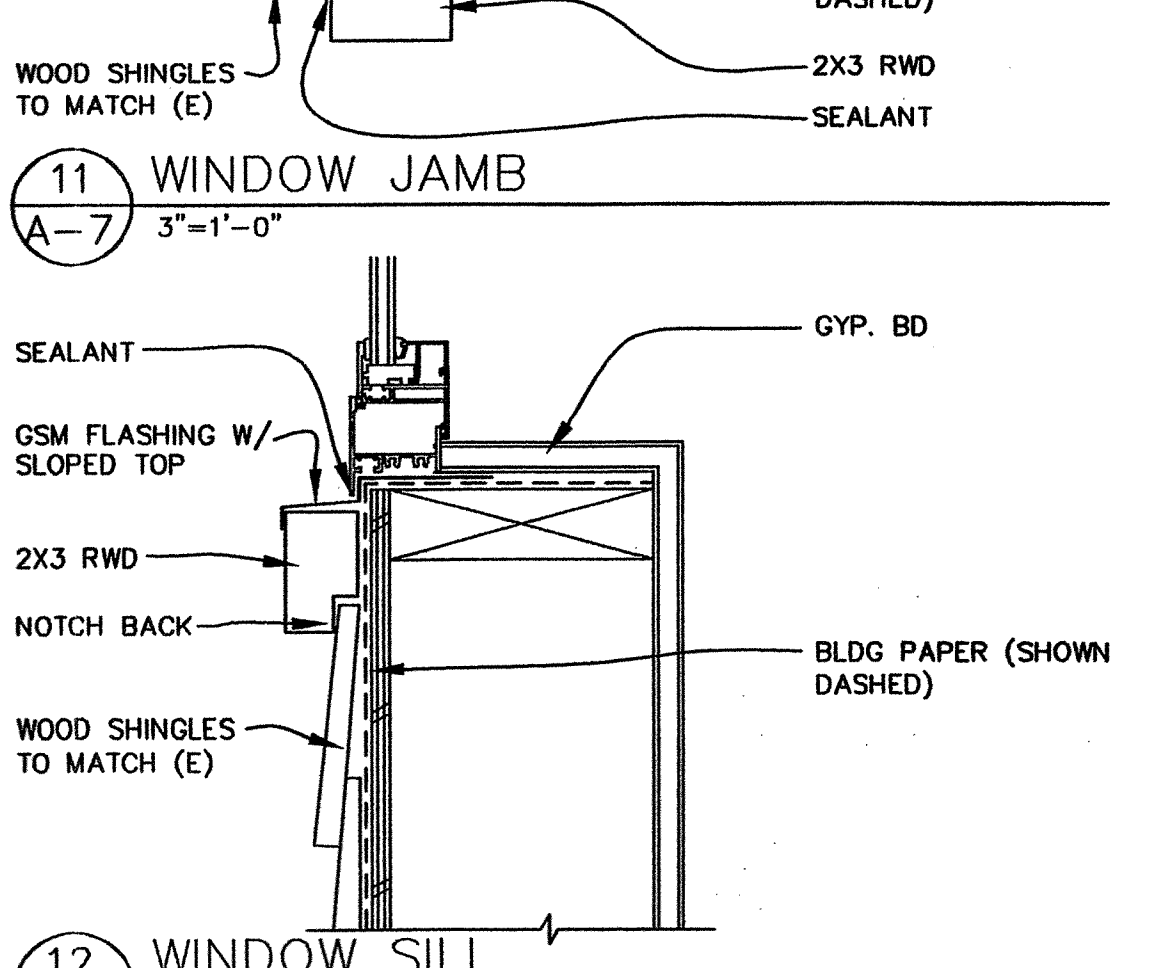
8 EXTERIOR WALL @ DECK
A-7 3"=1'-0" WALL-04



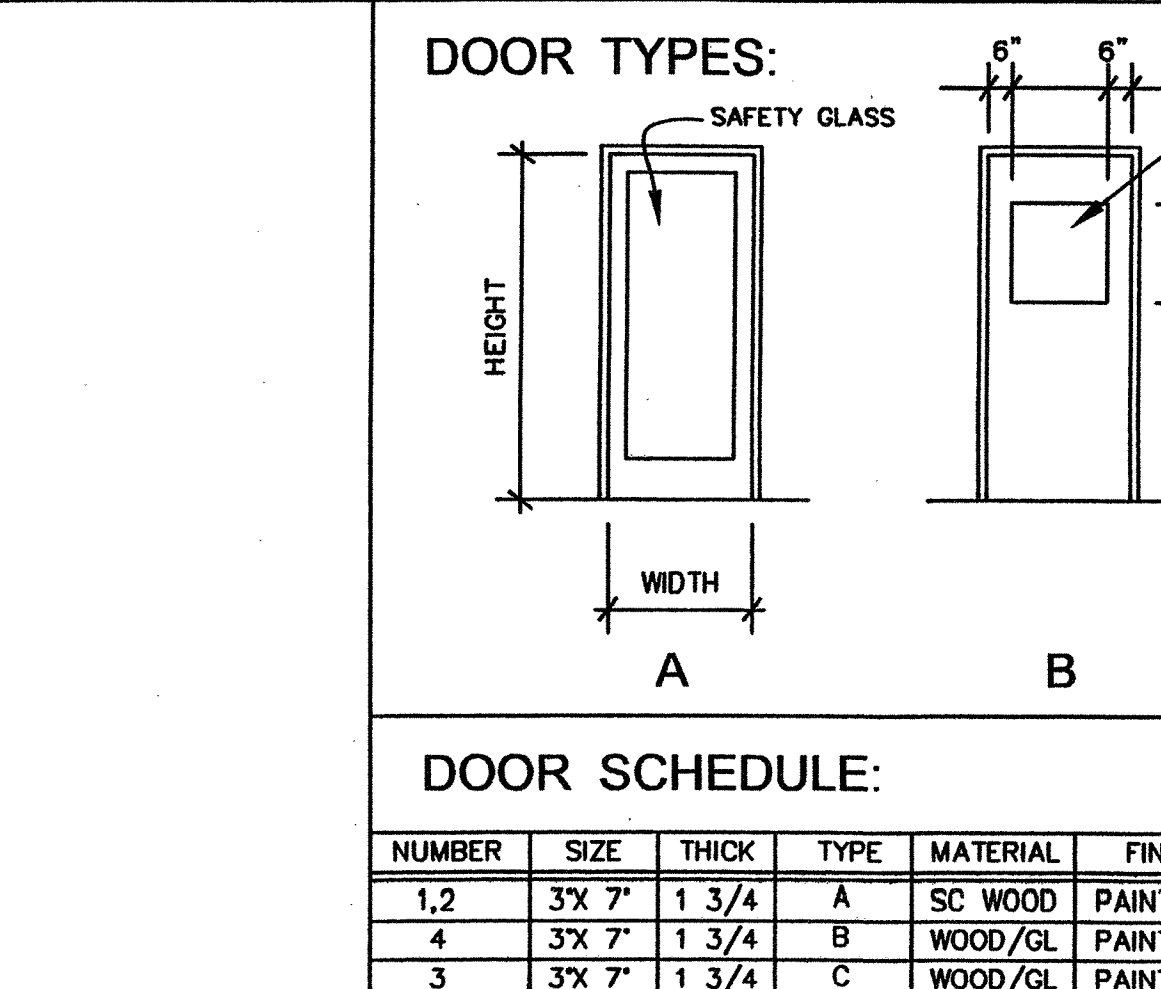
9 INTERIOR DOOR HEAD (JAMB SIM.)
A-7 3"=1'-0" DOOR-02



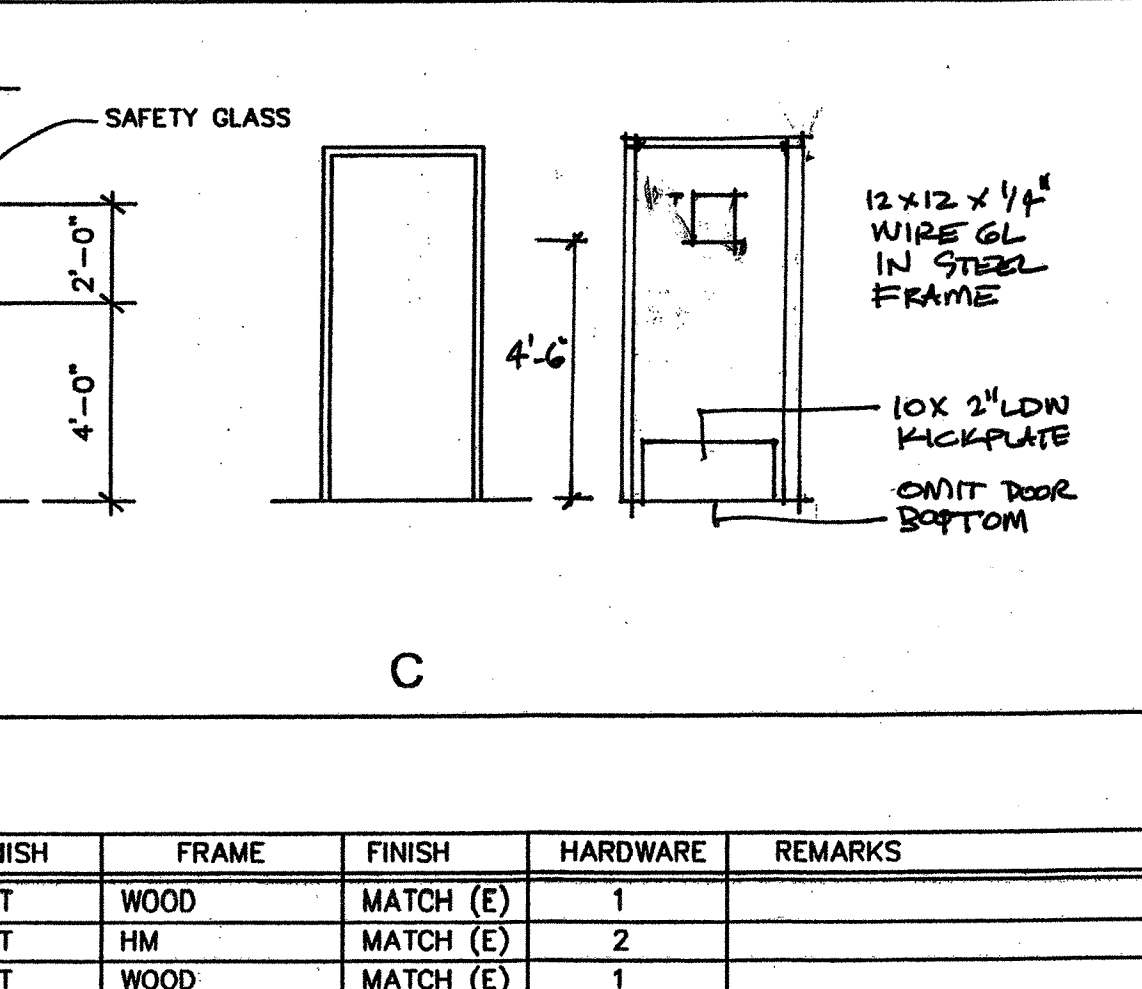
10 WINDOW HEAD
A-7 3"=1'-0"



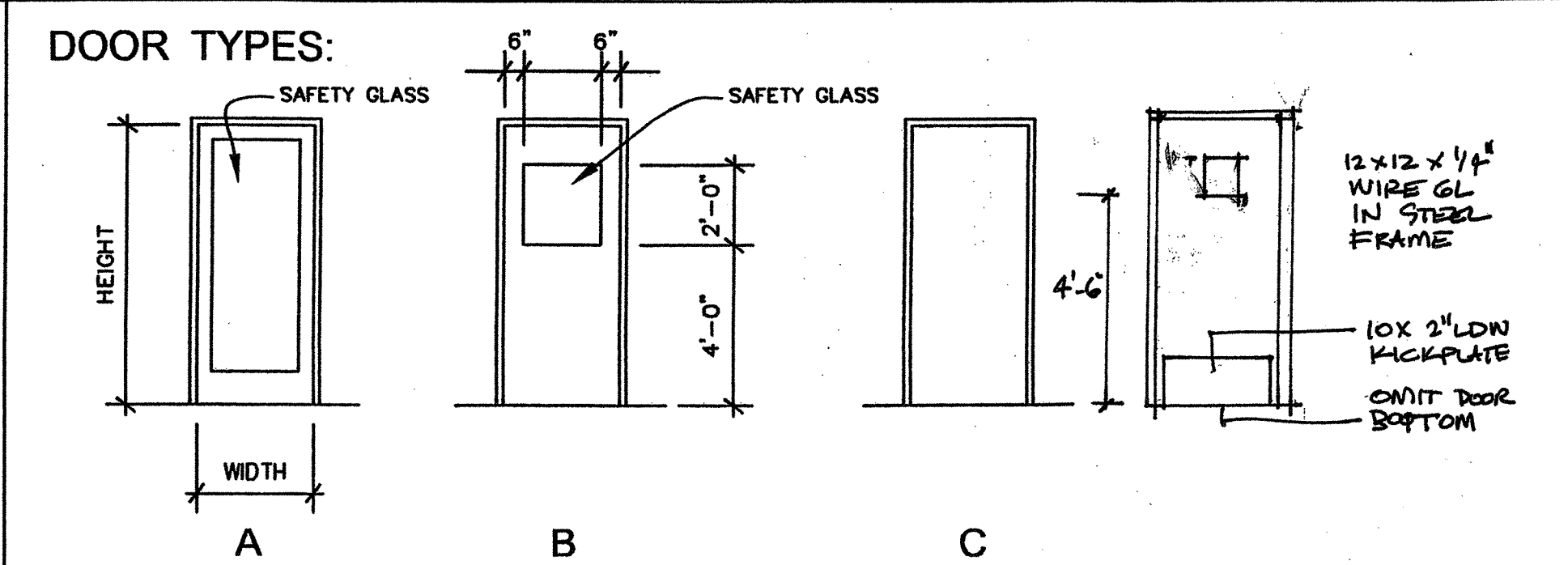
11 WINDOW JAMB
A-7 3"=1'-0"



12 WINDOW SILL
A-7 3"=1'-0" WIN-04



13 SECTION @ STAIR
A-7 1 1/2" = 1'-0" STAIR-01



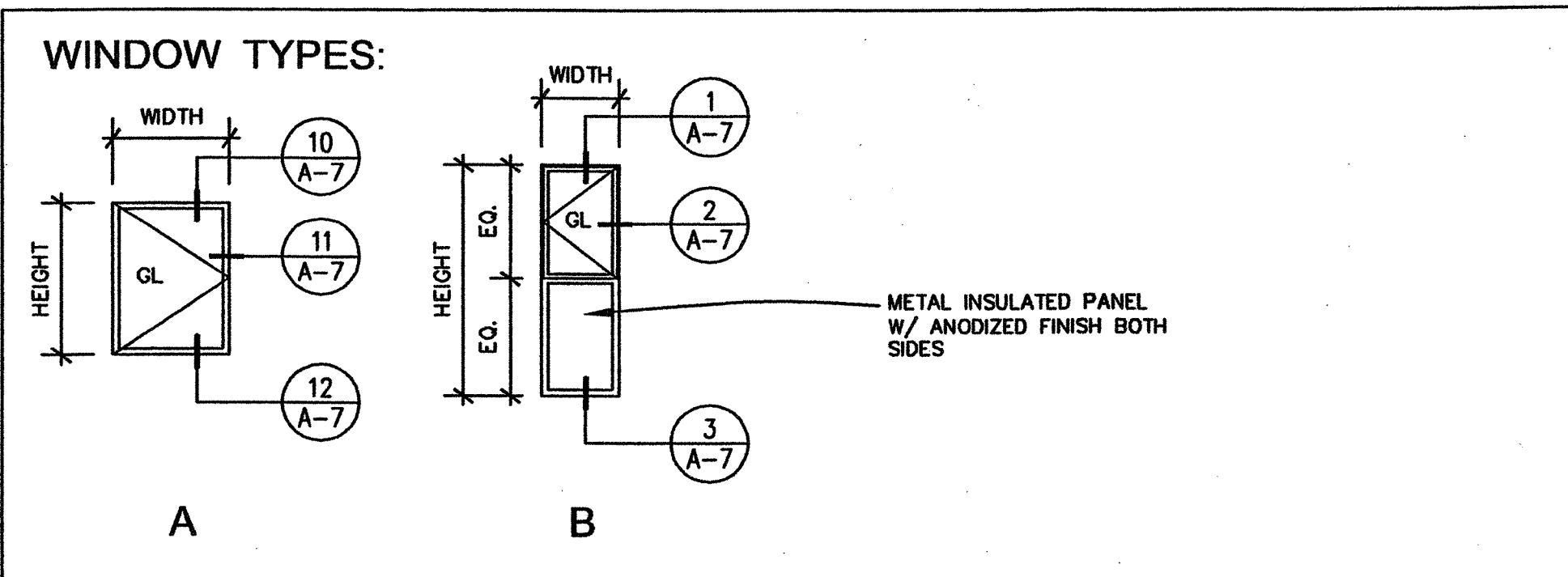
DOOR SCHEDULE:

NUMBER	SIZE	THICK	TYPE	MATERIAL	FINISH	FRAME	FINISH	HARDWARE	REMARKS
1,2	3'x 7'	1 3/4"	A	SC WOOD	PAINT	WOOD	MATCH (E)	1	
4	3'x 7'	1 3/4"	B	WOOD/GL	PAINT	HM	MATCH (E)	2	
3	3'x 7'	1 3/4"	C	WOOD/GL	PAINT	WOOD	MATCH (E)	1	
5	2'x 7'	1 3/4"	D	WOOD/GL	PAINT	WOOD	MATCH (E)	1	MIN RATED DOOR BOTTOM

DOOR HARDWARE SCHEDULE:

HARDWARE GROUP	DESCRIPTION	REMARKS
1	LOCKSET: SCHLAGE "D" SERIES WITH "RHODES" LEVER CLOSER: LCN 4041 SERIES DOME STOP: QUALITY #331 ES HINGES: MCKINNEY TA 2714, 1 1/2 PAIR PROVIDE SMOKE SEALS AT HEAD & JAMBS PROVIDE SOUND RATED AUTOMATIC DOOR BOTTOM	KEY LOCKSETS TO EXISTING SYSTEM
2	LOCKSET: SCHLAGE "D" SERIES WITH "RHODES" LEVER CLOSER: LCN 4041 SERIES DOME STOP: QUALITY #331 ES HINGES: MCKINNEY TA 2714, 1 1/2 PAIR PROVIDE SMOKE SEALS AT HEAD & JAMBS PROVIDE SOUND RATED AUTOMATIC DOOR BOTTOM	KEY LOCKSET TO EXISTING SYSTEM

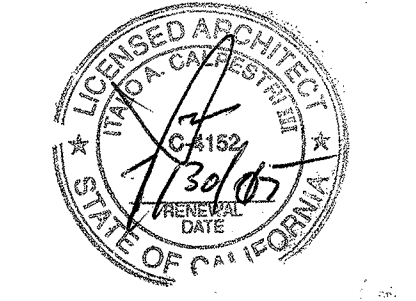
- DOOR SCHEDULE GENERAL NOTES:
- ALL DOORS SHALL BE EQUIPPED WITH SINGLE-EFFORT, NON-GRASP HARDWARE (I.E. LEVER) MOUNTED AT SAME HEIGHT ABOVE FLOOR AS EXISTING
 - DOORS SHALL SWING TO THE FULLY OPEN POSITION WHEN AN OPENING FORCE NOT EXCEEDING 30 POUNDS IS APPLIED TO THE LATCH SIDE
 - DOOR HARDWARE AT ALL EXIT DOORS SHALL ALLOW DOORS TO BE OPENED FROM THE INSIDE WITHOUT KEY, SPECIAL KNOWLEDGE, OR EFFORT.
 - DOORS SHALL MEET THE REQUIREMENTS OF CBC SECTION 1003.3.1



WINDOW SCHEDULE:

NUMBER	TYPE	APPROX. OPENING (V.I.F.)	MATERIAL	FINISH	GLASS	REMARKS
1	A	3'-0" x 4'-0"	ALUM.	FACTORY	1/4" TINTED	TINT COLOR TO MATCH (E) DUAL GLAZED
2	B	2'-0" x 6'-1"	ALUM.	FACTORY	1/4" TINTED	TINT COLOR TO MATCH (E) DUAL GLAZED

ITALO A. CALPESTRI III
& ASSOCIATES AIA
BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



STAMP:

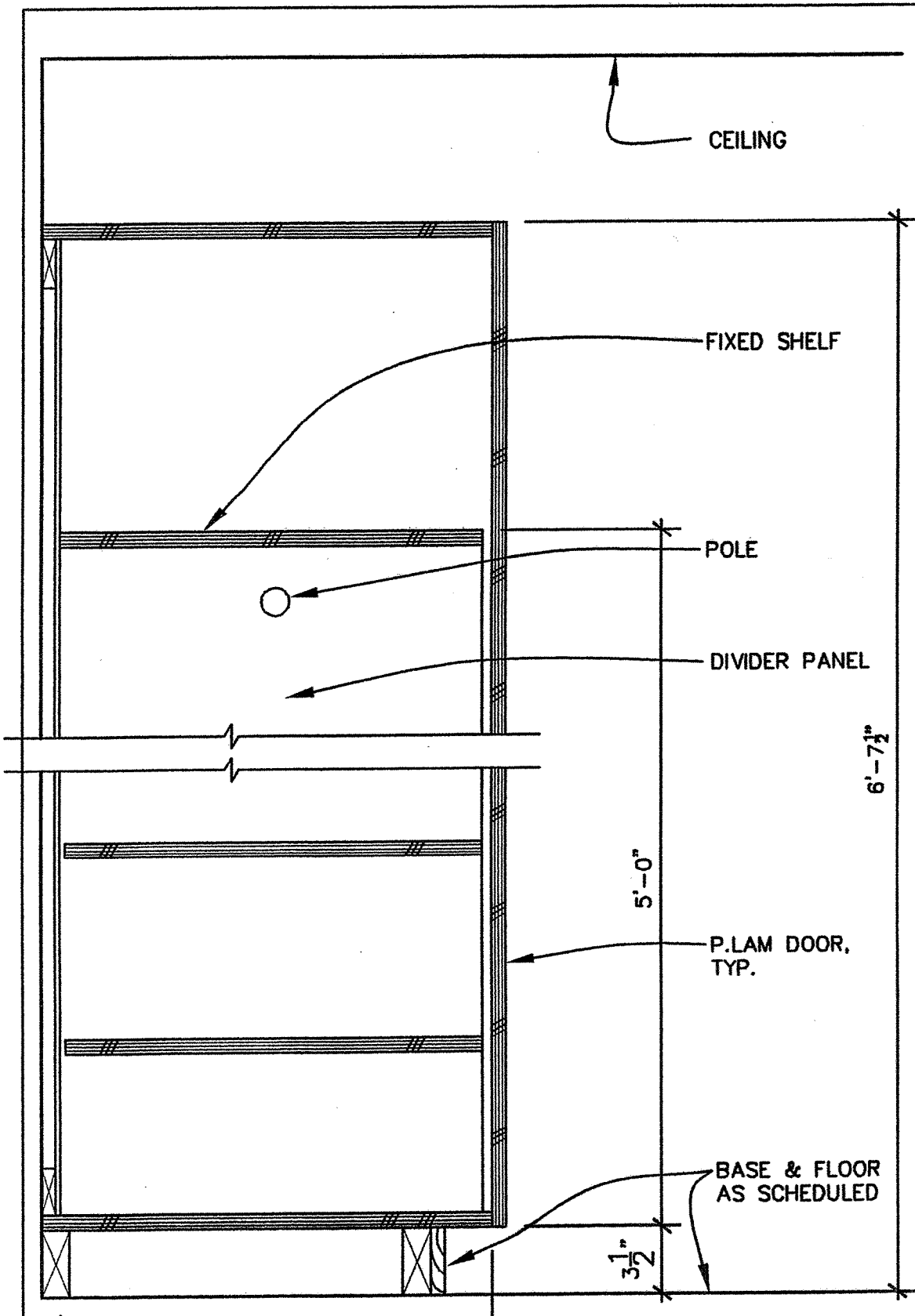
REVISIONS:
No. DESCRIPTION DATE
1 DOOR 5 ADDED 11/2/04

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

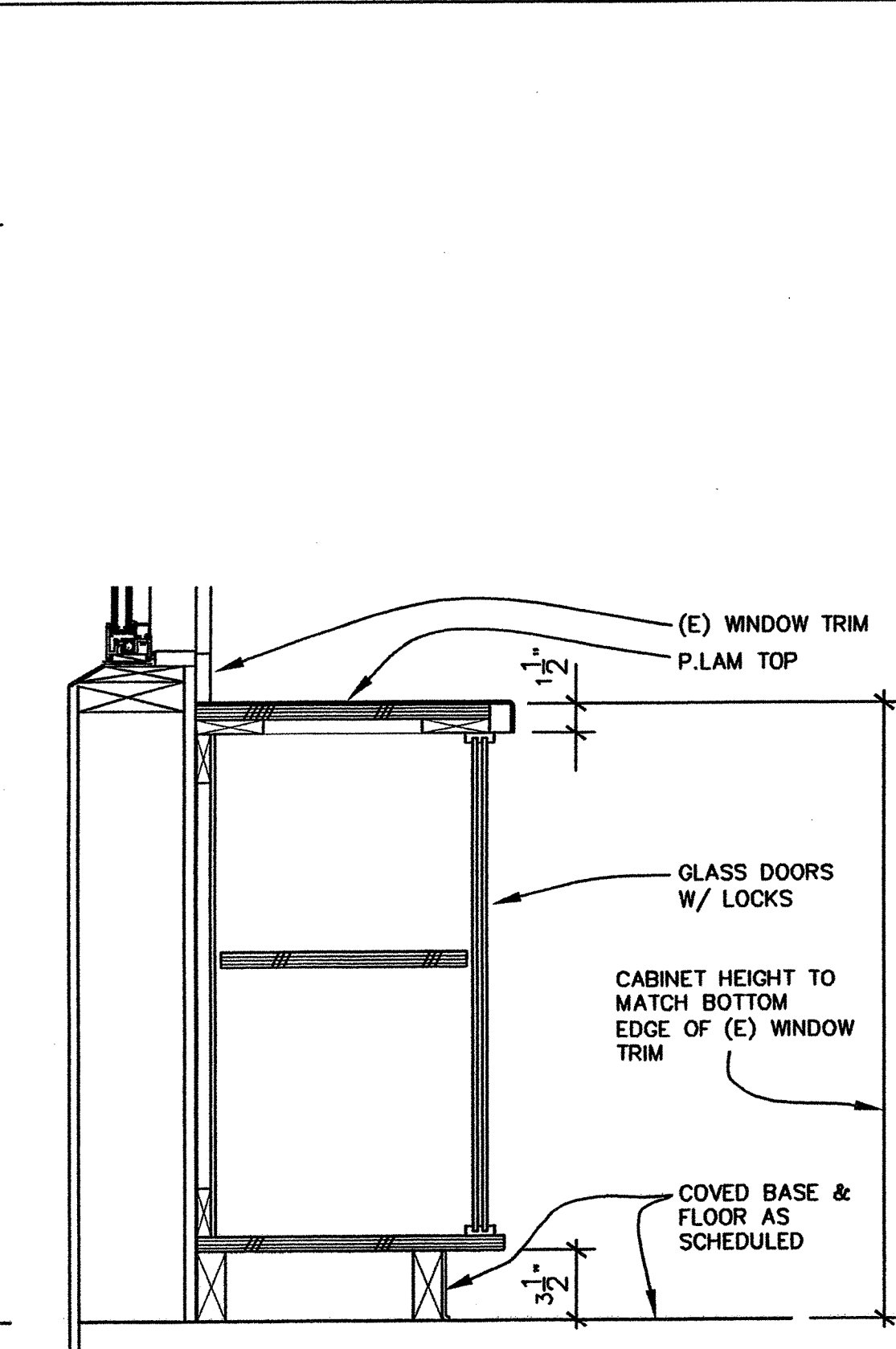
DRAWING TITLE
DOOR & WINDOW
SCHEDULES, DETAILS

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

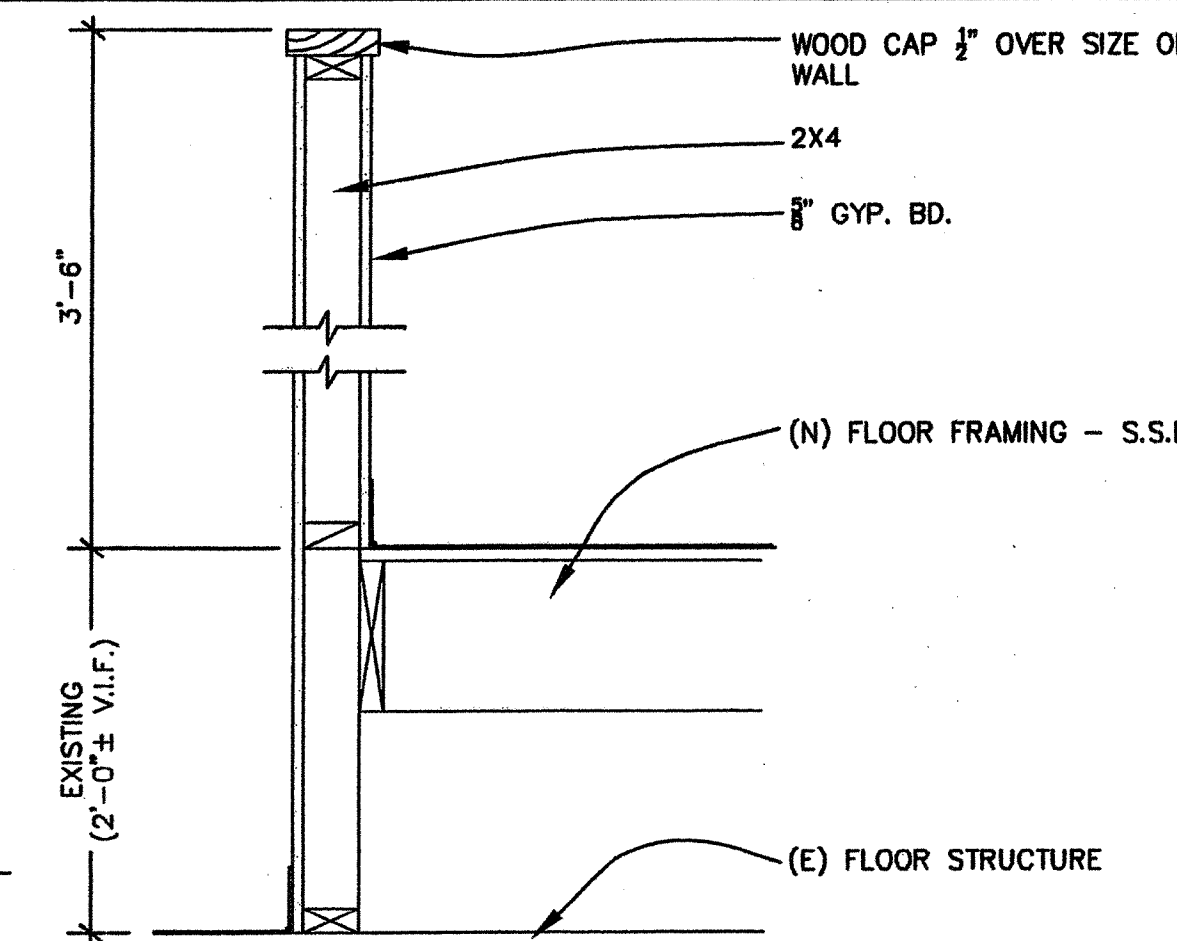
SHEET NO.: A-7



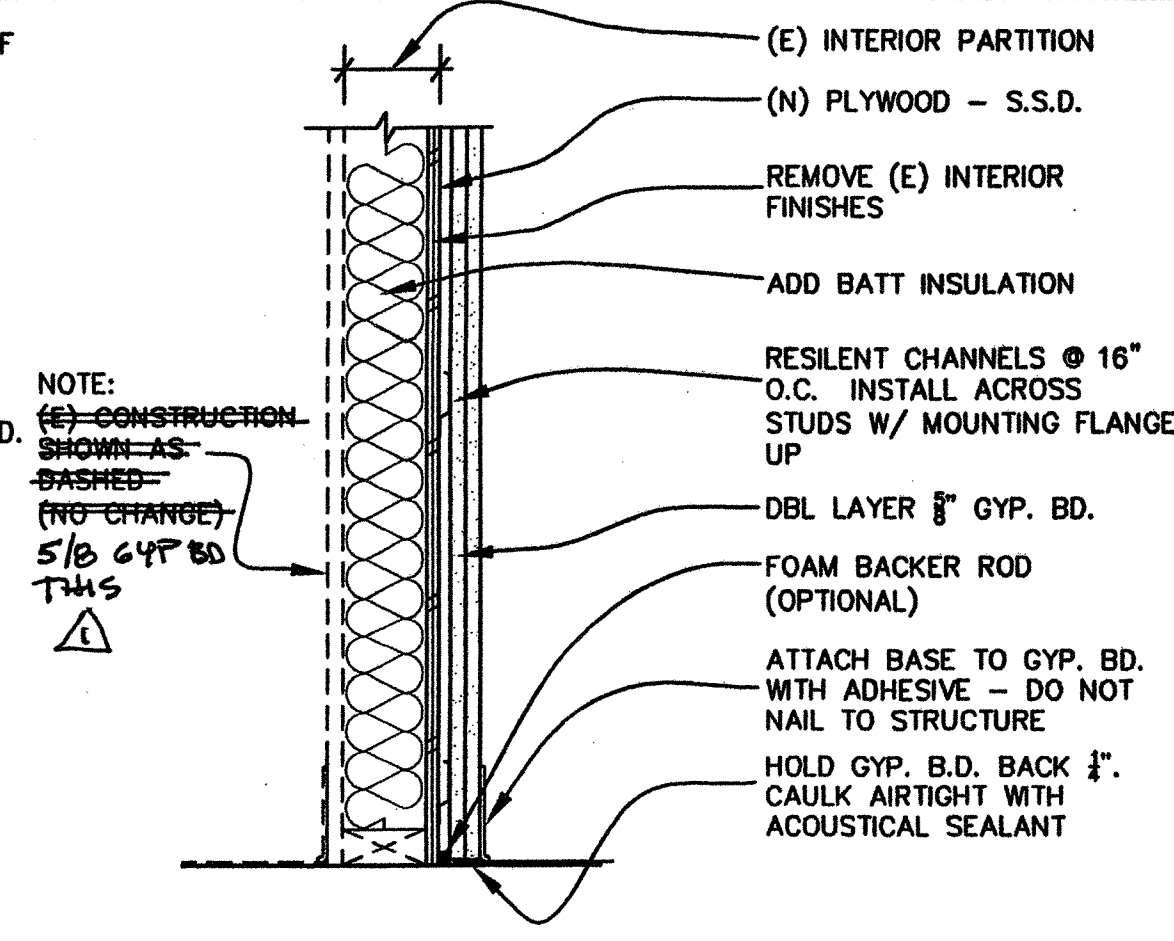
4 LOCKER CABINETS
A-8 1 1/2" = 1'-0" CAB-06



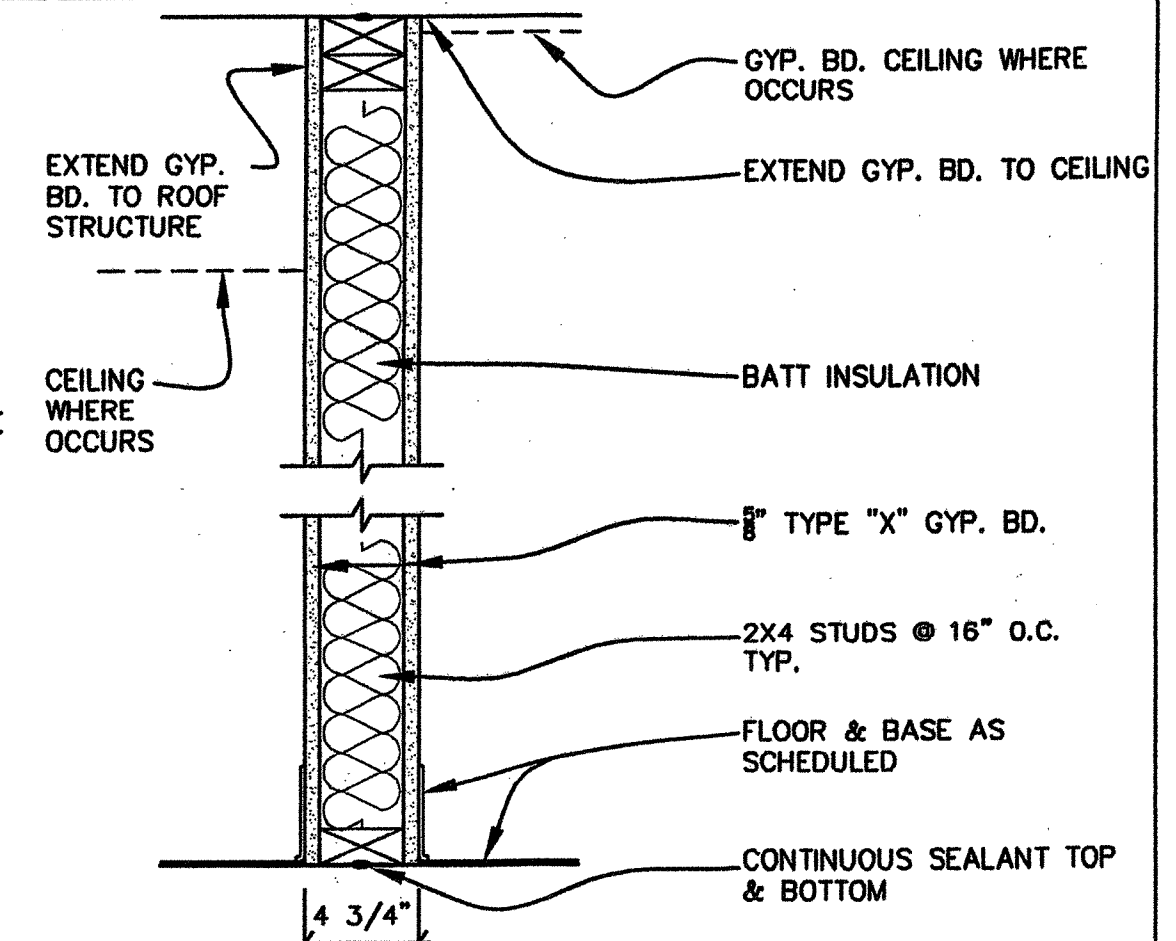
5 CABINET DETAIL
A-8 1 1/2" = 1'-0" CAB-07



1 PARTIAL HEIGHT WALL
A-8 1" = 1'-0" WALL-03



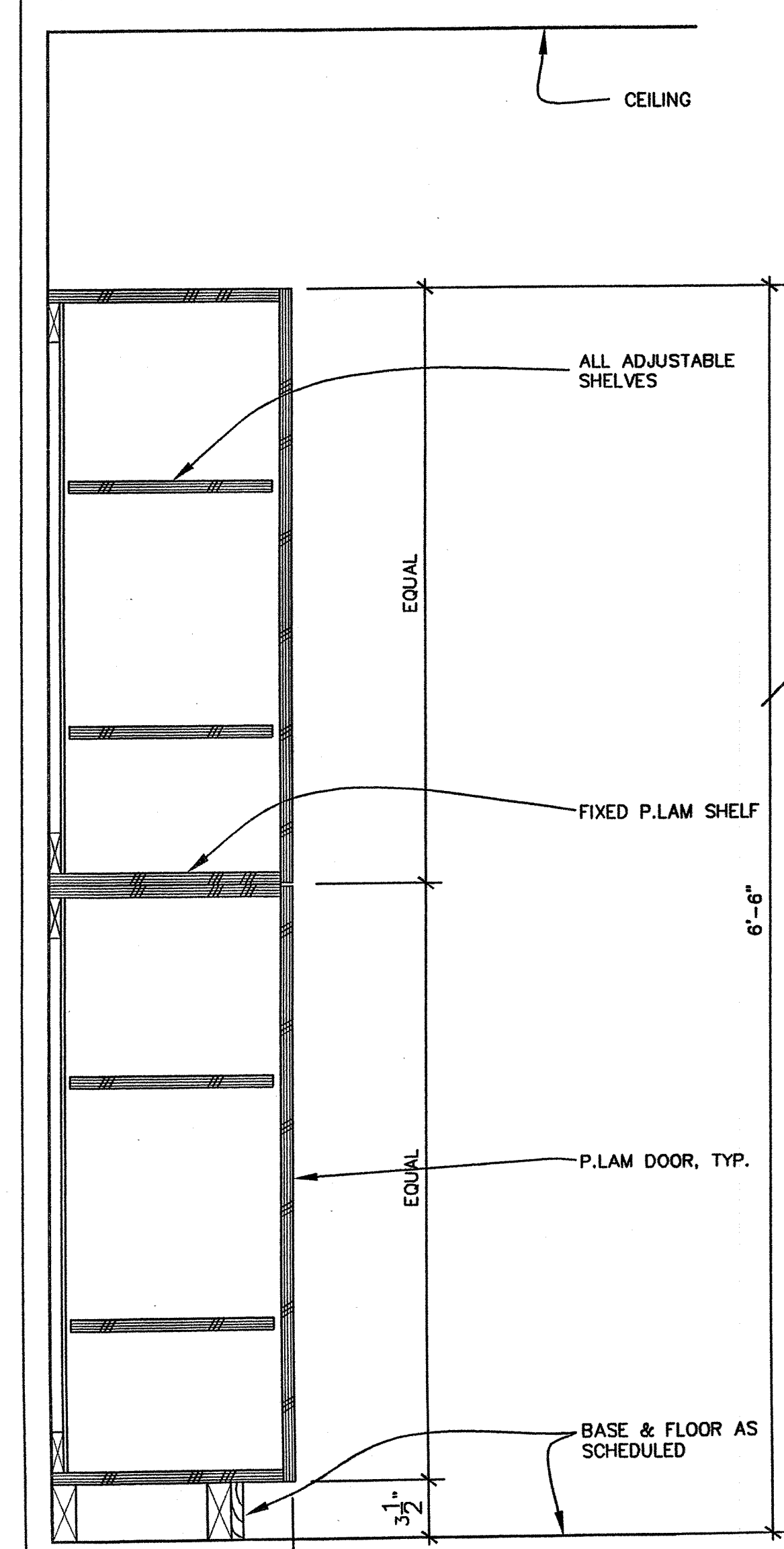
2 SOUND PARTITION AT EXIST. WALL
A-8 1 1/2" = 1'-0" AT CAPTAINS BEDROOM INSTALL RESILIENT WALL-02 CHANNELS OVER (E) GYP. BD.



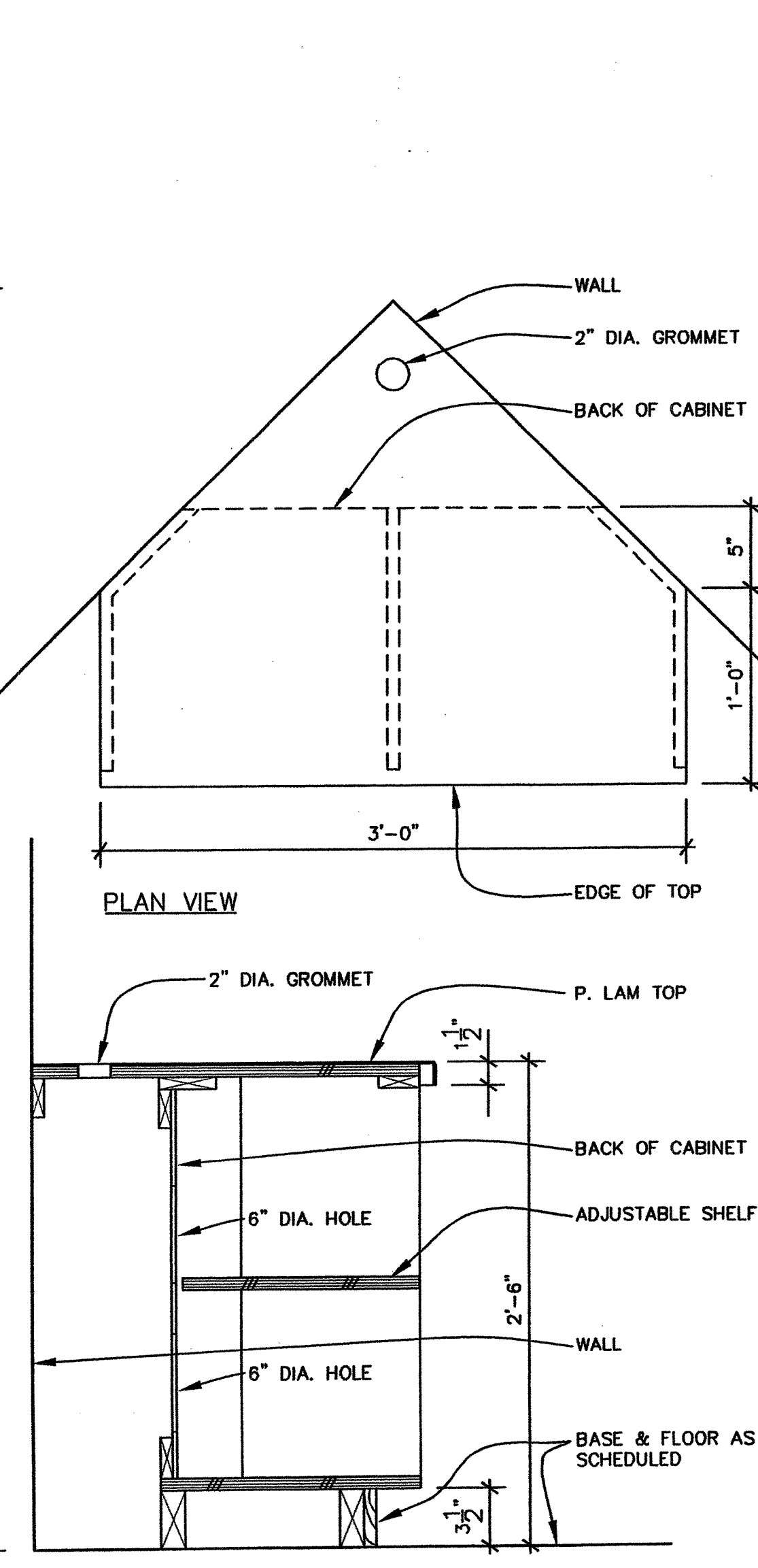
3 INTERIOR PARTITION - SOUND BATT
A-8 1 1/2" = 1'-0" WALL-01

356983
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CONTRA COSTA COUNTY
BUILDING INSPECTION
3/11/04

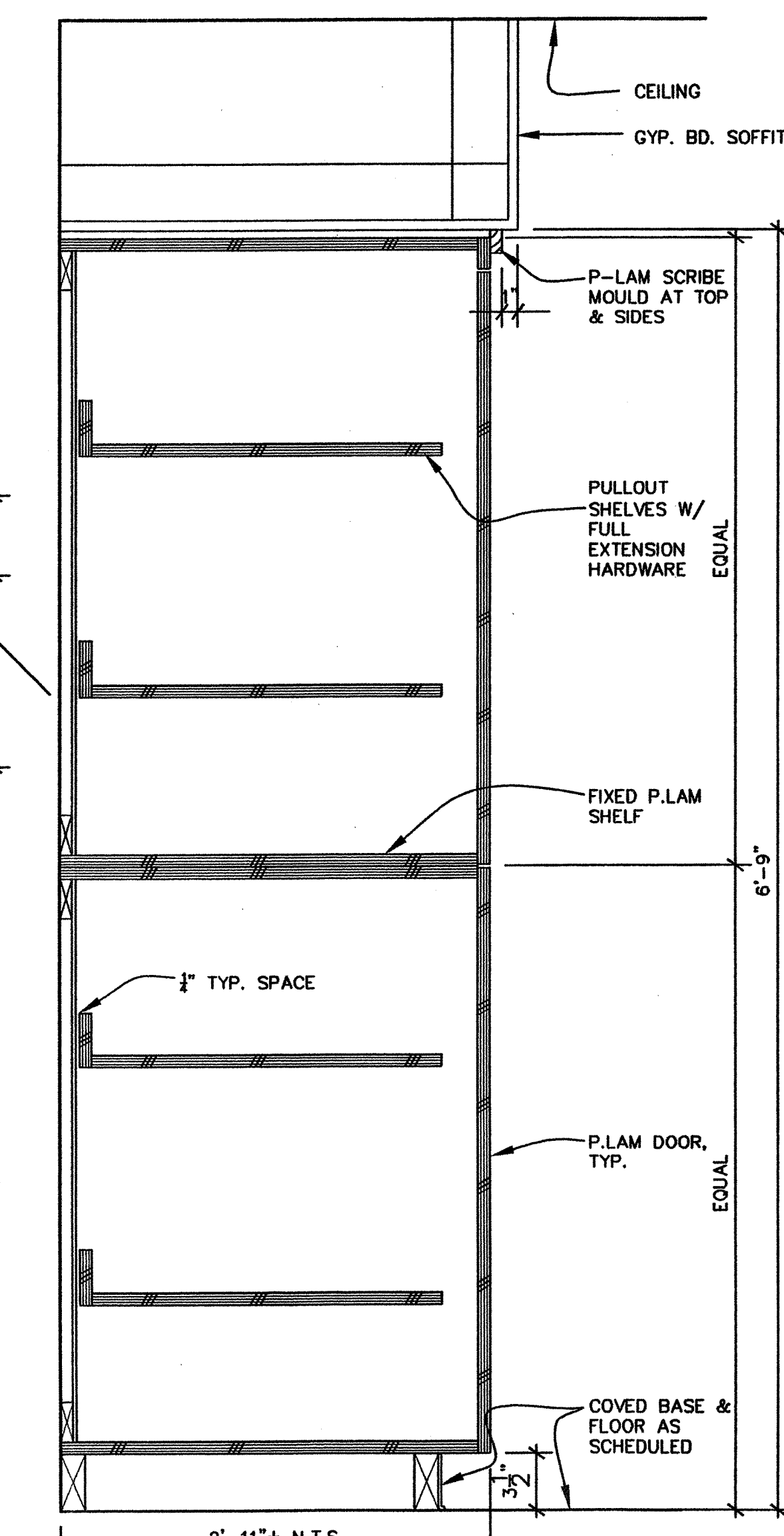
NOTE:
ALL CABINETS WIC "CUSTOM" STYLE "A" FRAMELESS FLUSH OVERLAY DESIGN COLOR CORE & EDGE BAND 9 PLY BIRCH ALL COUNTERS TO HAVE NO-D RIP FORMED EGES



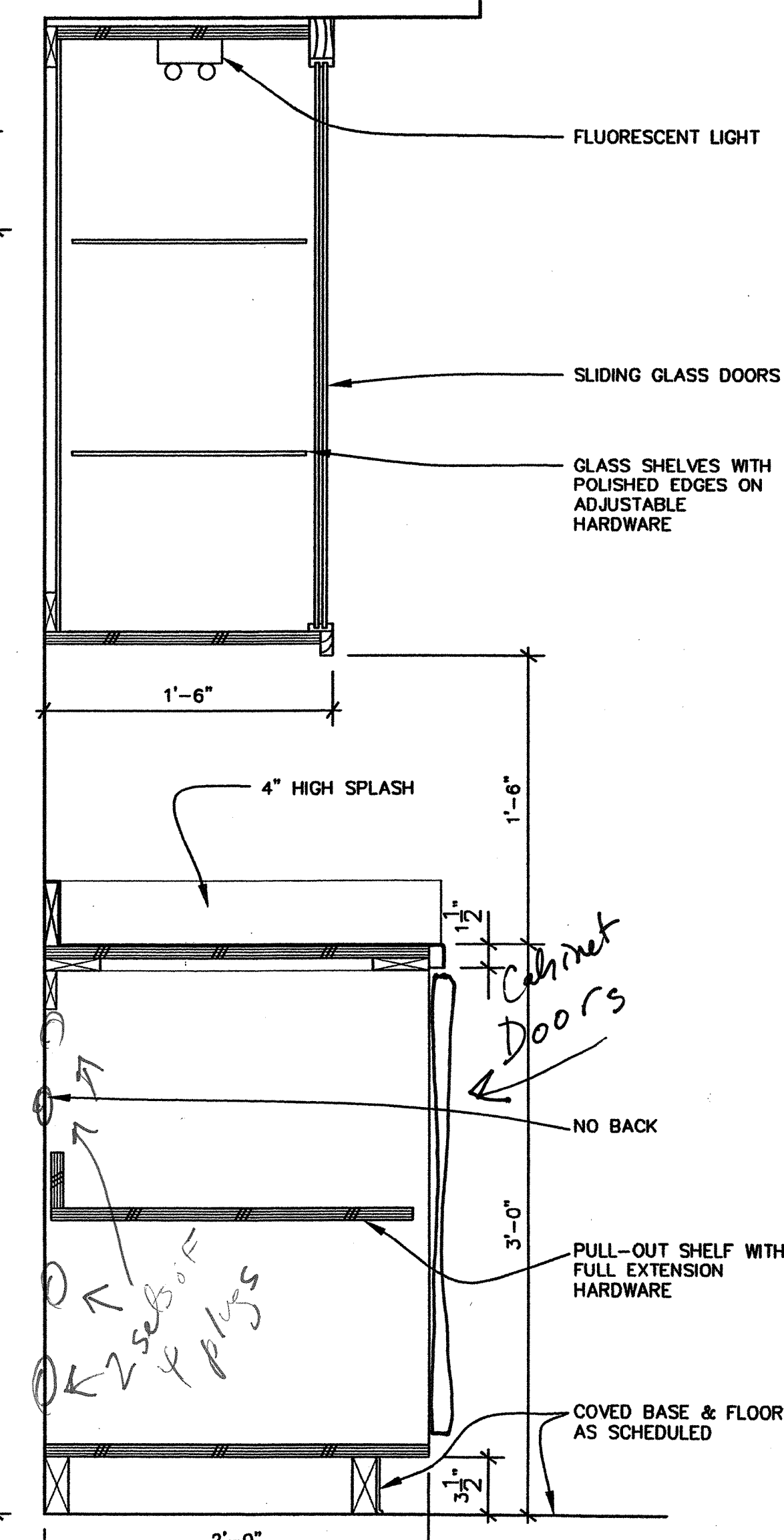
6 LOCKER CABINETS
A-8 1 1/2" = 1'-0" CAB-05



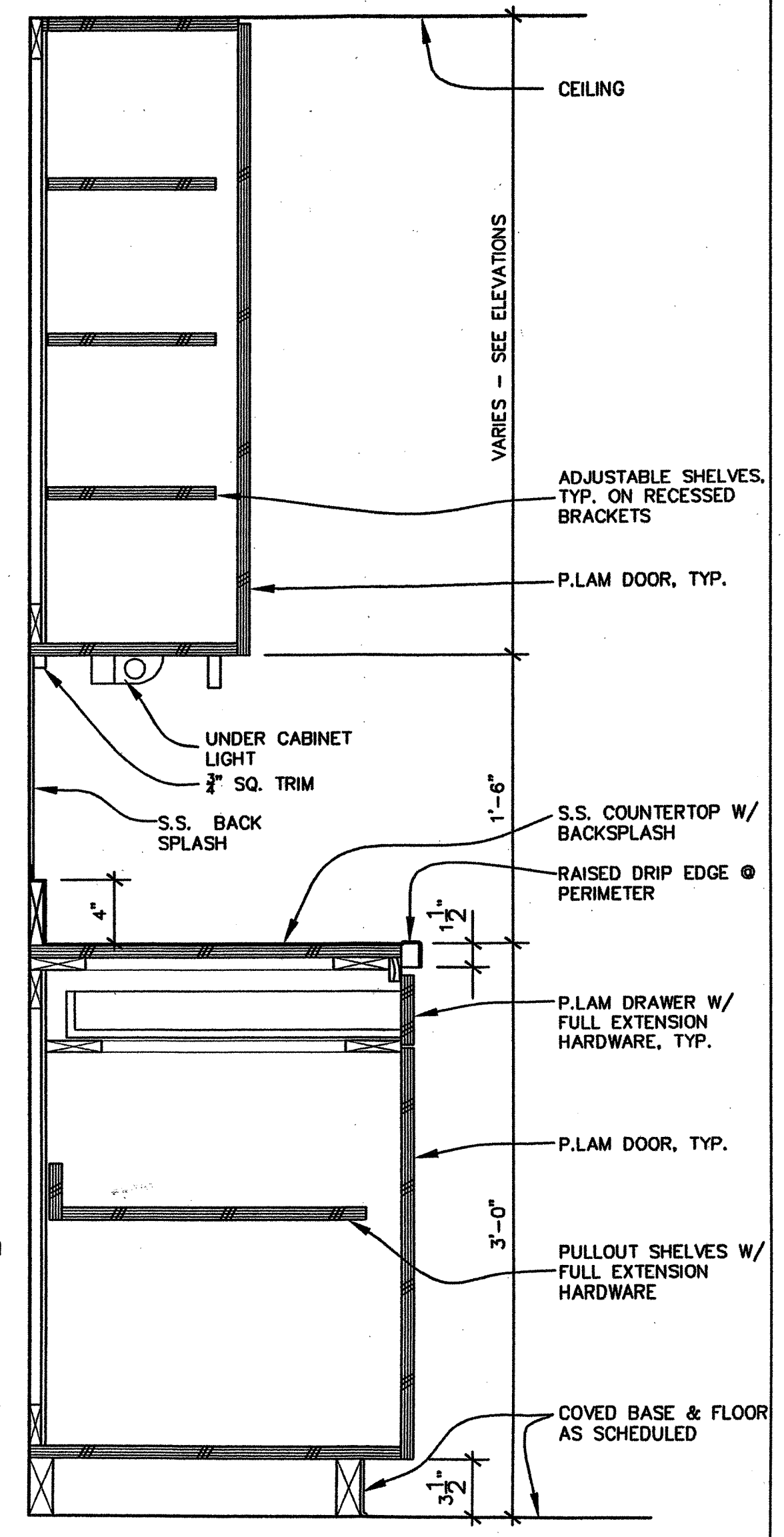
7 TV CABINET
A-8 1 1/2" = 1'-0" CAB-04



8 PANTRY CABINET
A-8 1 1/2" = 1'-0" CAB-02



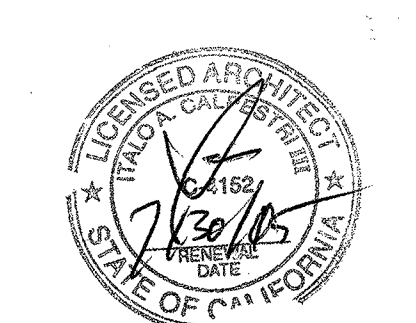
9 DISPLAY CABINET
A-8 1 1/2" = 1'-0" CAB-03



10 BASE & WALL CABINET DETAIL
A-8 1 1/2" = 1'-0" CAB-01

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& ASSOCIATES AIA

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1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427



STAMP:

REVISIONS:	DESCRIPTION	DATE
1	2/18/04 5/8" GYP. BD. ADDED	11/8/04

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
DETAILS

PROJECT No. : 2324
DRAWN BY: TJ
CHECKED BY: IAC
DATE: 07-29-04
SCALE: AS NOTED

SHEET NO.: A-8

**BASELINE
ENGINEERING**

Civil & Structural Engineering
Design, Planning & Investigation
1504 Park Street, Suite 8
Alameda CA 94501
Tel. 510-865-4623
Fax. 510-865-4704

NAME OF PROJECT
**Kensington Fire
Station/Public Safety
Building Renovation
215 Arlington Ave.
Kensington, CA**

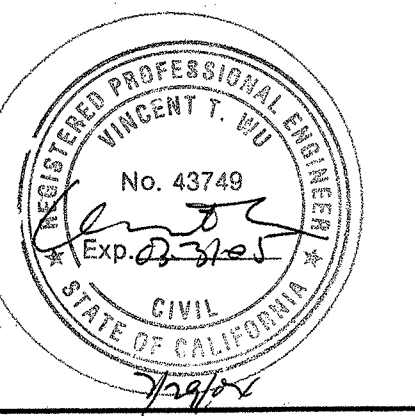
CLIENT:

CONSULTANTS:

This plan and specifications are prepared as instruments of service for the client and are property of the Engineer. They shall not be duplicated or used for other work without the consent of the Engineer.

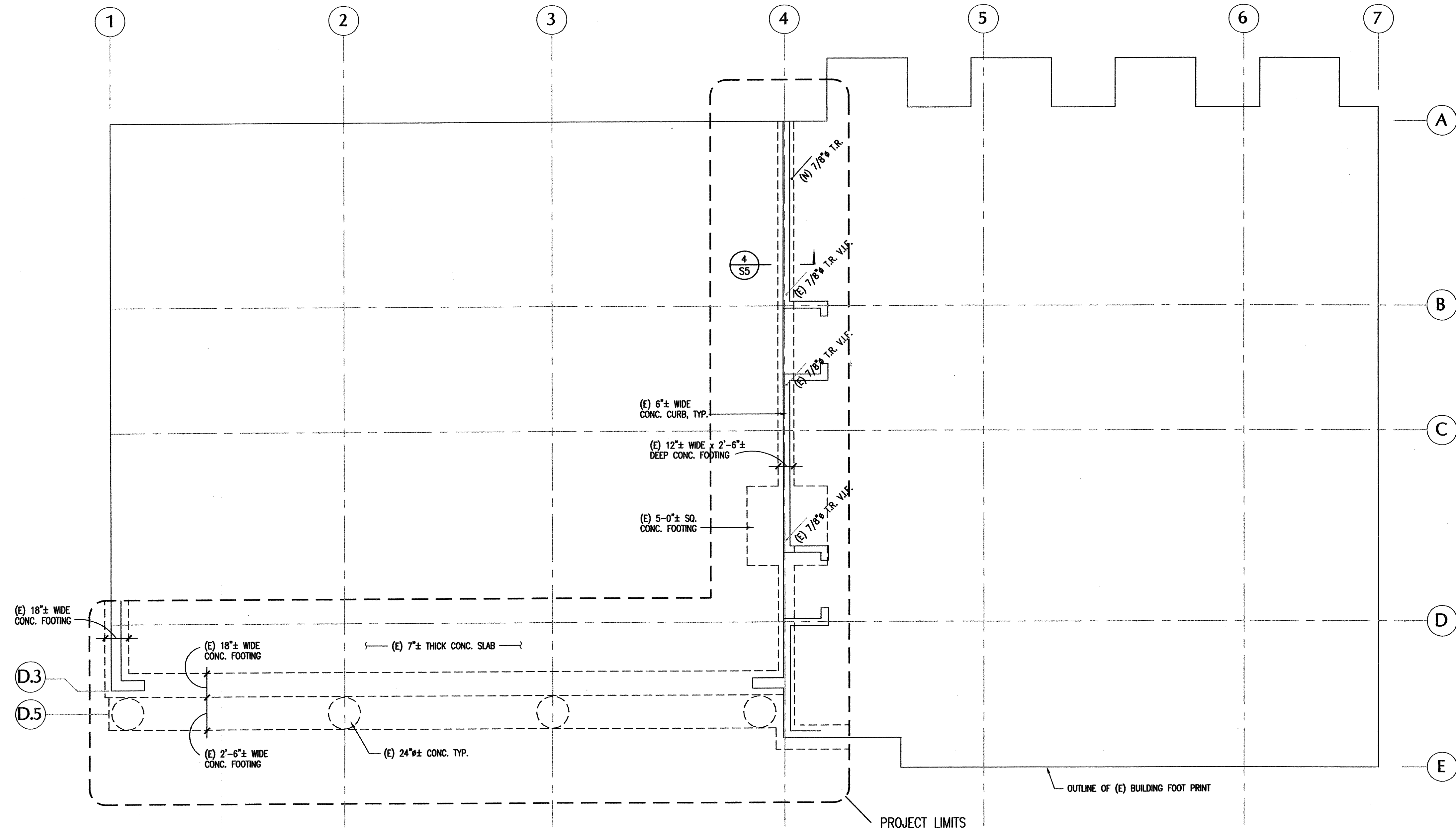
No.	Revision/Issue	Date
1	CLIENT REVIEW	05-14-04
2	BUILDING PERMIT	06-21-04
3	REVISED FOR BUILDING PERMIT	07-27-04

PROJECT No. : 040101
DRAWN BY : SW
CHECK BY : VTW
DATE : 06-21-04
SCALE : AS SHOWN



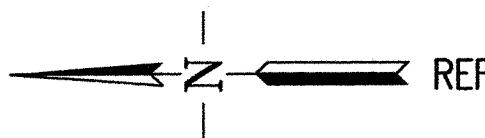
DRAWING TITLE
PARTIAL FOUNDATION PLAN

DRAWING No.
S2
SHEET 2 OF 6



SHEET NOTE:
NOT ALL STRUCTURAL FRAMING & FOUNDATION IS SHOWN ON PLAN. ONLY STRUCTURAL FRAMING & FOUNDATION WHICH ARE RELATED TO THIS PROJECT IS SHOWN ON PLAN FOR CLARITY.

A PARTIAL FOUNDATION PLAN
SCALE 1/4" = 1'-0"



356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
ORDINANCES AND CODES AND
THE STAMPING OF THE
APPLICABLE SMALL AREA
PERMIT OR TO BE A PART OF
ANY COUNTY PERMITS OR
SUCH LAW.

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DIRECTOR OF
BUILDER INSPECTION
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the premises and accessible
to the Inspector at all times.

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Civil & Structural Engineering
Design, Planning & Investigation

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Alameda CA 94501
Tel. 510-885-4623
Fax. 510-885-4704

NAME OF PROJECT
**Kensington Fire
Station/Public Safety
Building Renovation
215 Arlington Ave.
Kensington, CA**

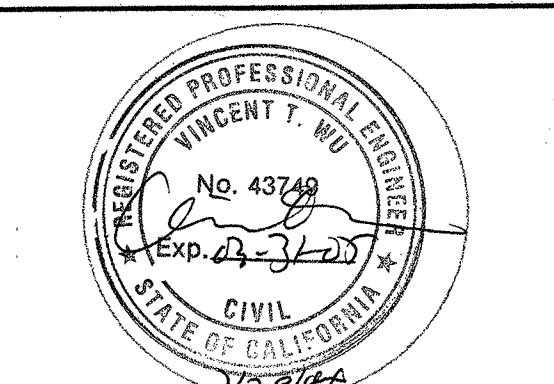
CLIENT:

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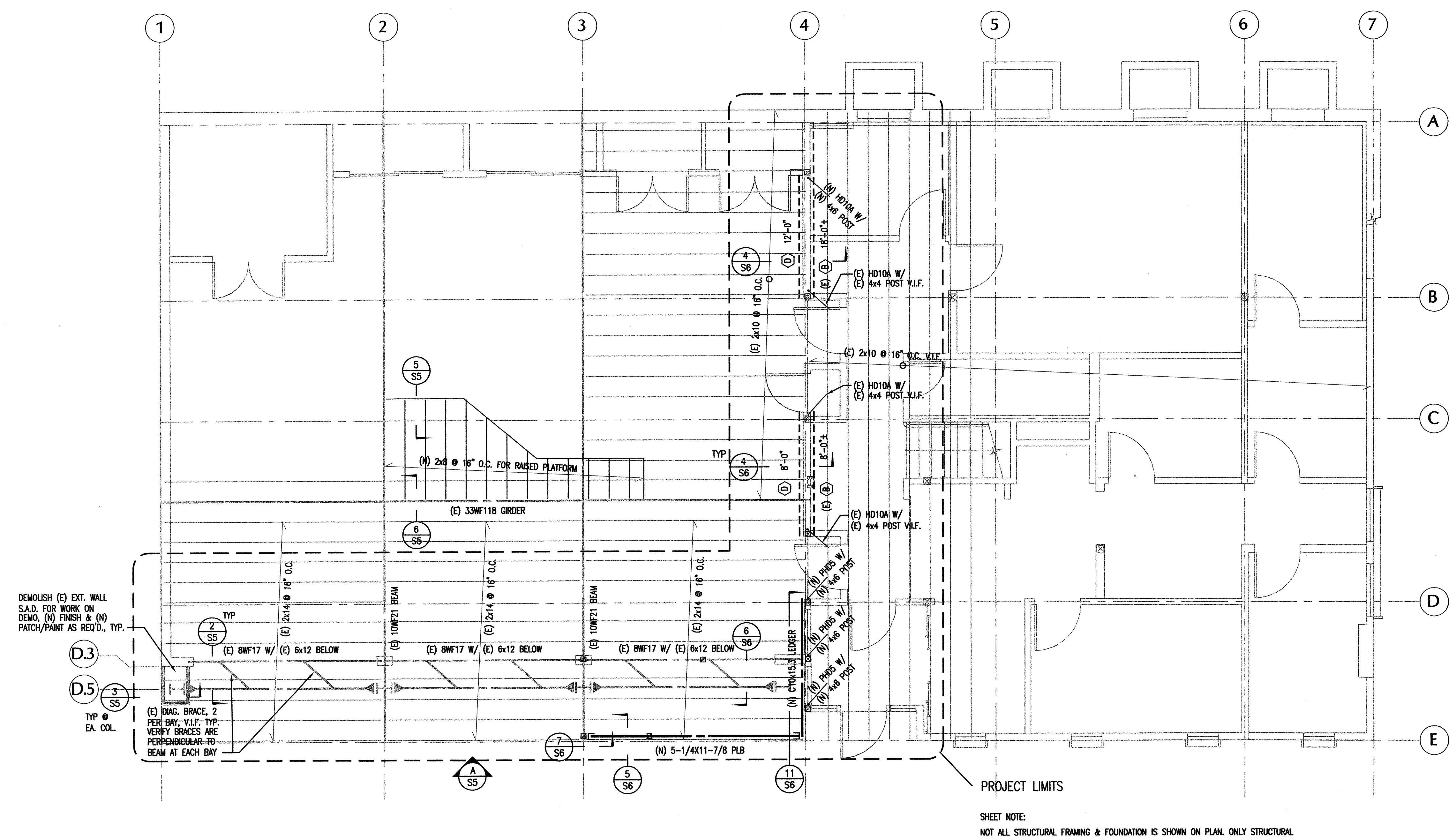
No.	Revision/Issue	Date
1	CLIENT REVIEW	05-14-04
2	BUILDING PERMIT	06-21-04
3	REVISED FOR BUILDING PERMIT	07-27-04

PROJECT No. :	040101
DRAWN BY :	SW
CHECK BY :	VTW
DATE :	06-21-04
SCALE :	AS SHOWN



DRAWING TITLE
**PARTIAL 2ND FLOOR FRAMING/
1ST FLOOR PLAN**

DRAWING No.
S3
SHEET 3 OF 6



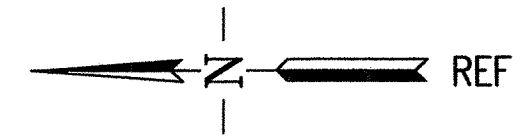
DEMOLISH (E) EXT. WALL
S.A.D. FOR WORK ON
DEMO, (N) FINISH & (N)
PATCH/PAINT AS REQ'D., TYP.

(E) DIAG. BRACE, 2
PER BAY, V.L.F. TYP.
VERIFY BRACES ARE
PERPENDICULAR TO
BEAM AT EACH BAY

TYP
EA. COL.

PROJECT LIMITS

SHEET NOTE:
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FRAMING & FOUNDATION WHICH ARE RELATED TO THIS PROJECT IS SHOWN ON PLAN FOR CLARITY.



A PARTIAL 2ND FLOOR FRAMING/1ST FLOOR PLAN
SCALE 1/4" = 1'-0"

356983
PERMIT NUMBER

REVIEWED
IN COMPLIANCE WITH COUNTY
REGULATIONS AND CODES.
STAMPING OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE
VALID UNLESS THE SEAL AND
SIGNATURE OF THE REGISTERED
ENGINEER OR ARCHITECT IS
PRESENT ON THIS DOCUMENT OR THE
OFFICE OF THE COUNTY ENGINEER OR
STATE DEPT.

Victor...
CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION

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Civil & Structural Engineering
Design, Planning & Investigation

1504 Park Street, Suite 8
Alameda CA 94501
Tel. 510-865-4823
Fax. 510-865-4704

NAME OF PROJECT

**Kensington Fire
Station/Public Safety
Building Renovation
215 Arlington Ave.
Kensington, CA**

CLIENT:

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No.	Revision/Issue	Date
1	CLIENT REVIEW	05-14-04
2	BUILDING PERMIT	06-21-04
3	REVISED FOR BUILDING PERMIT	07-27-04

PROJECT No. :	040101
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DATE :	06-21-04
SCALE :	AS SHOWN



356983
PERMIT NUMBER

REVIEWED
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BUILDING ORD. AND CODES.
THE ENGINEER OF THIS SEAL AND
SIGNATURE SHALL BE RESPONSIBLE
FOR THE ACCURACY OF THE
DRAWING AND ANY COUNTY ORANGE OR
STATE LAW.

Colin Brennan

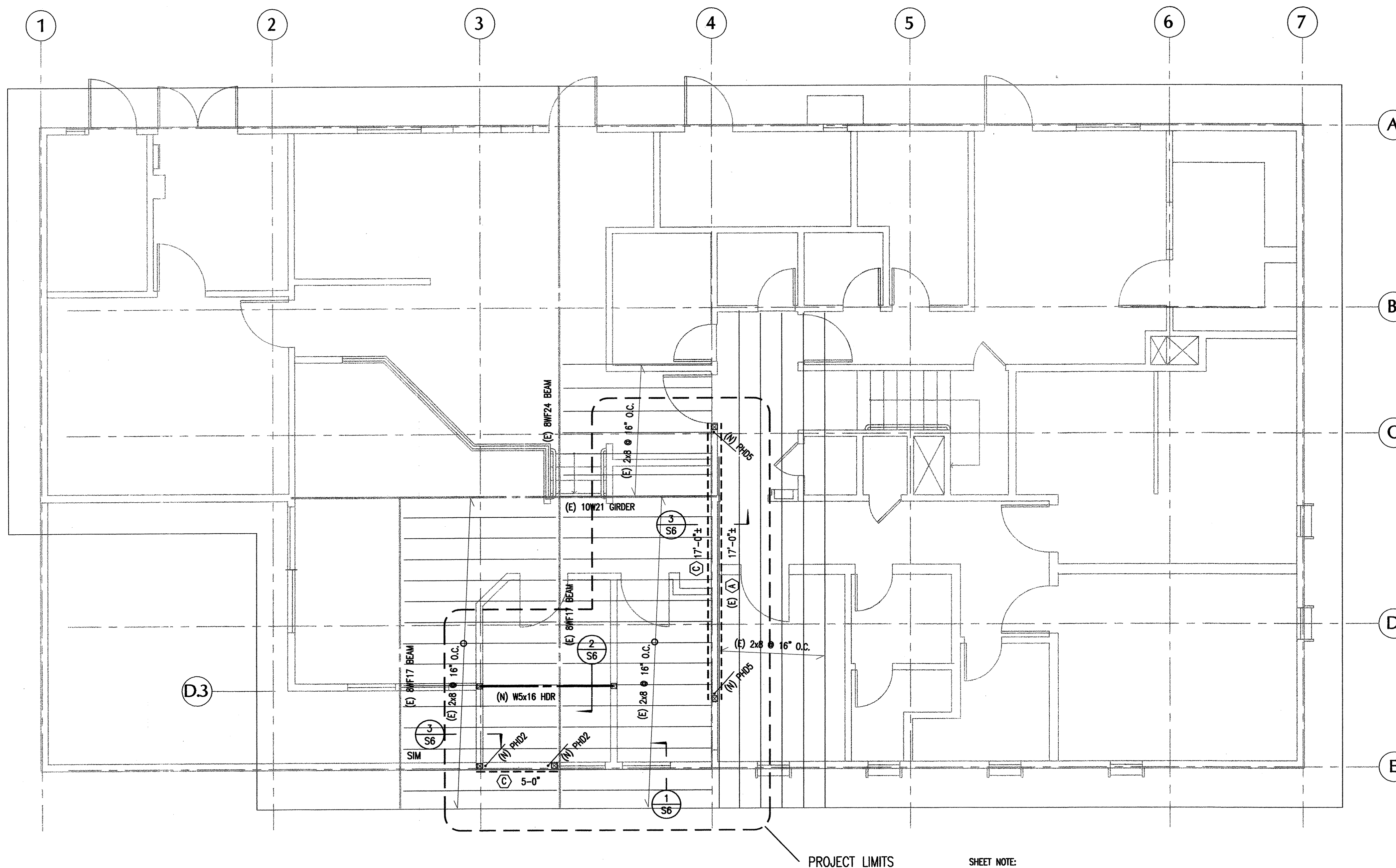
CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION

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**PARTIAL ROOF
FRAMING/2ND FLOOR
PLAN**

DRAWING No.

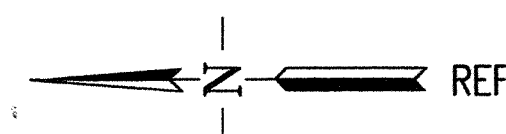
S4



PROJECT LIMITS

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FRAMING & FOUNDATION WHICH ARE RELATED TO THIS PROJECT IS SHOWN ON PLAN FOR CLARITY.

A PARTIAL ROOF FRAMING/2ND FLOOR PLAN
SCALE 1/4" = 1'-0"



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Fax. 510-865-4704

NAME OF PROJECT
**Kensington Fire
Station/Public Safety
Building Renovation
215 Arlington Ave.
Kensington, CA**

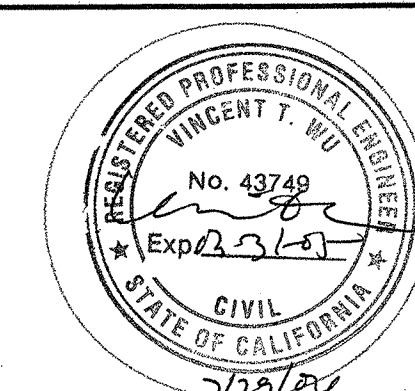
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3	REVISED FOR BUILDING PERMIT	07-27-04

PROJECT No. : 040101
DRAWN BY : SW
CHECK BY : VTW
DATE : 06-21-04
SCALE : AS SHOWN



DRAWING TITLE

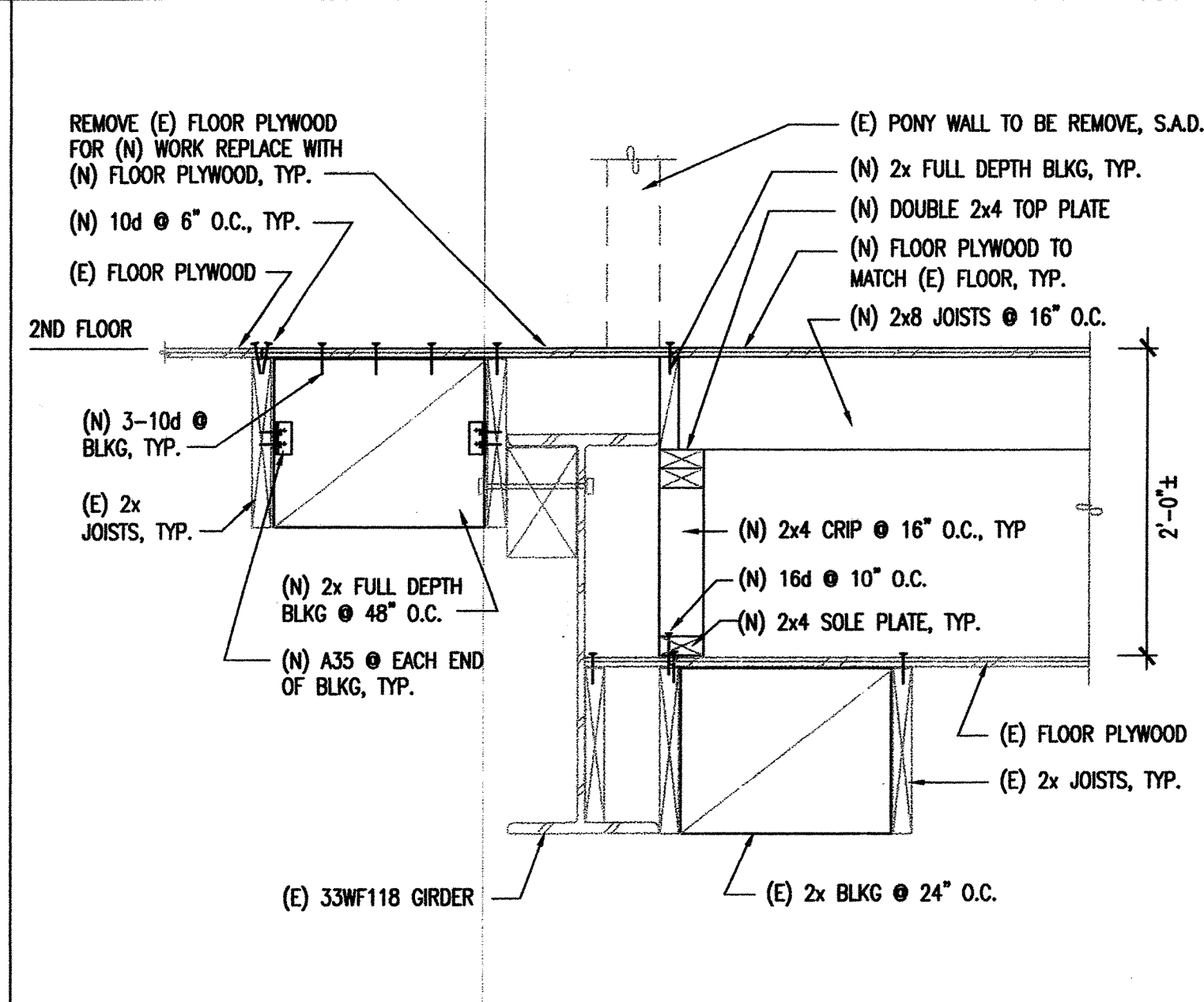
ELEVATION & DETAILS

DRAWING No.

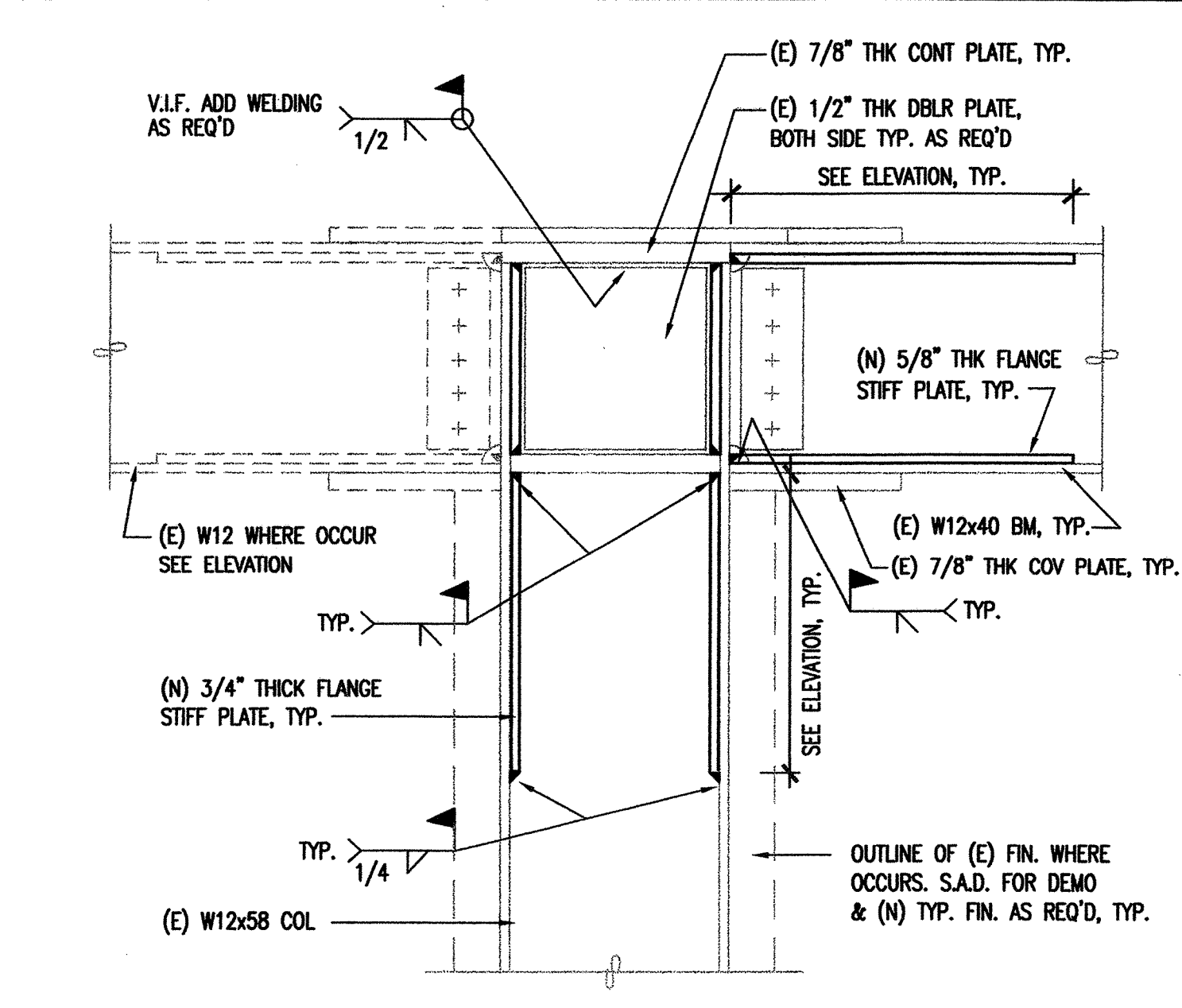
S5

SHEET 5 OF 6

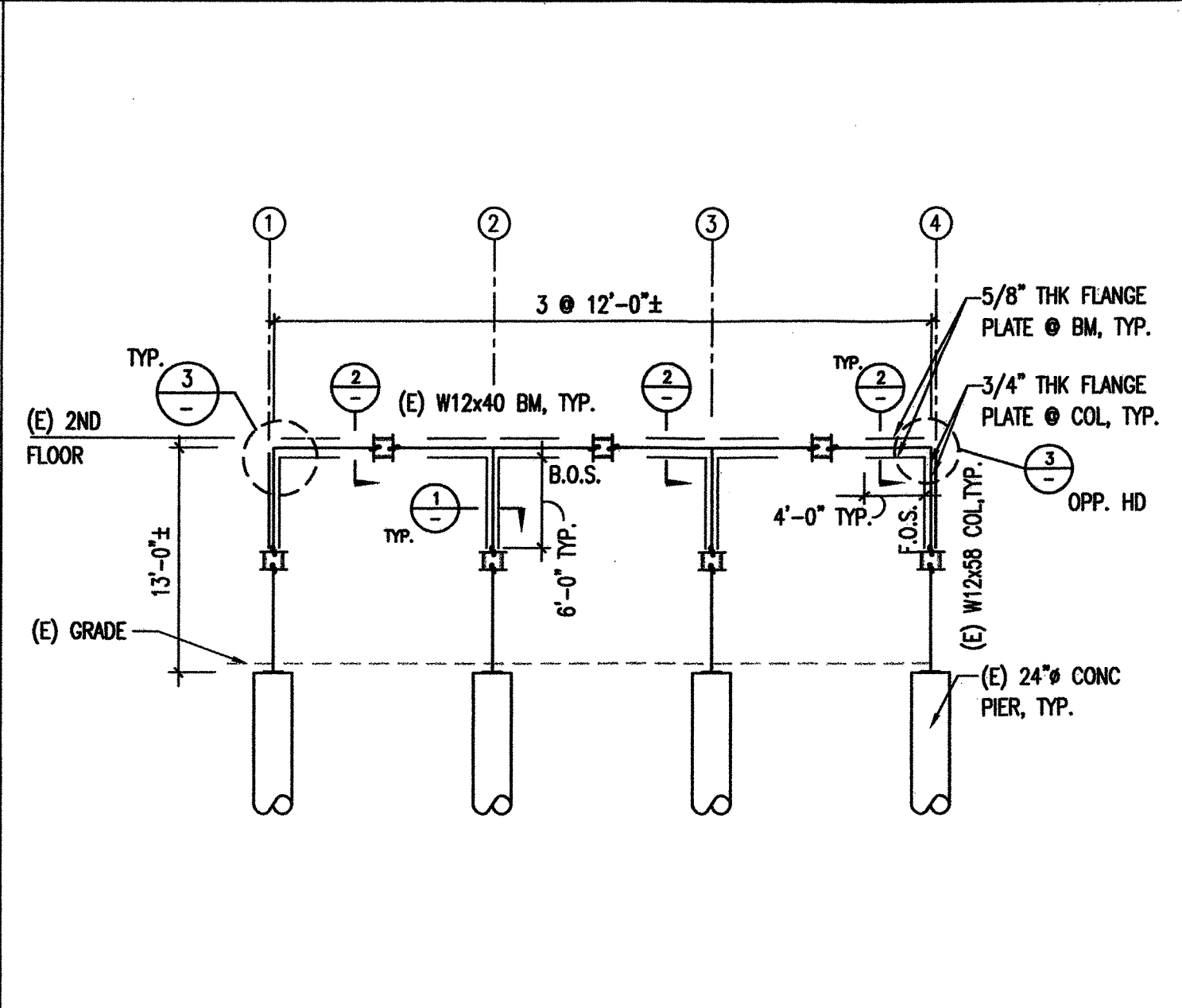
6 DETAIL
1" = 1'-0"



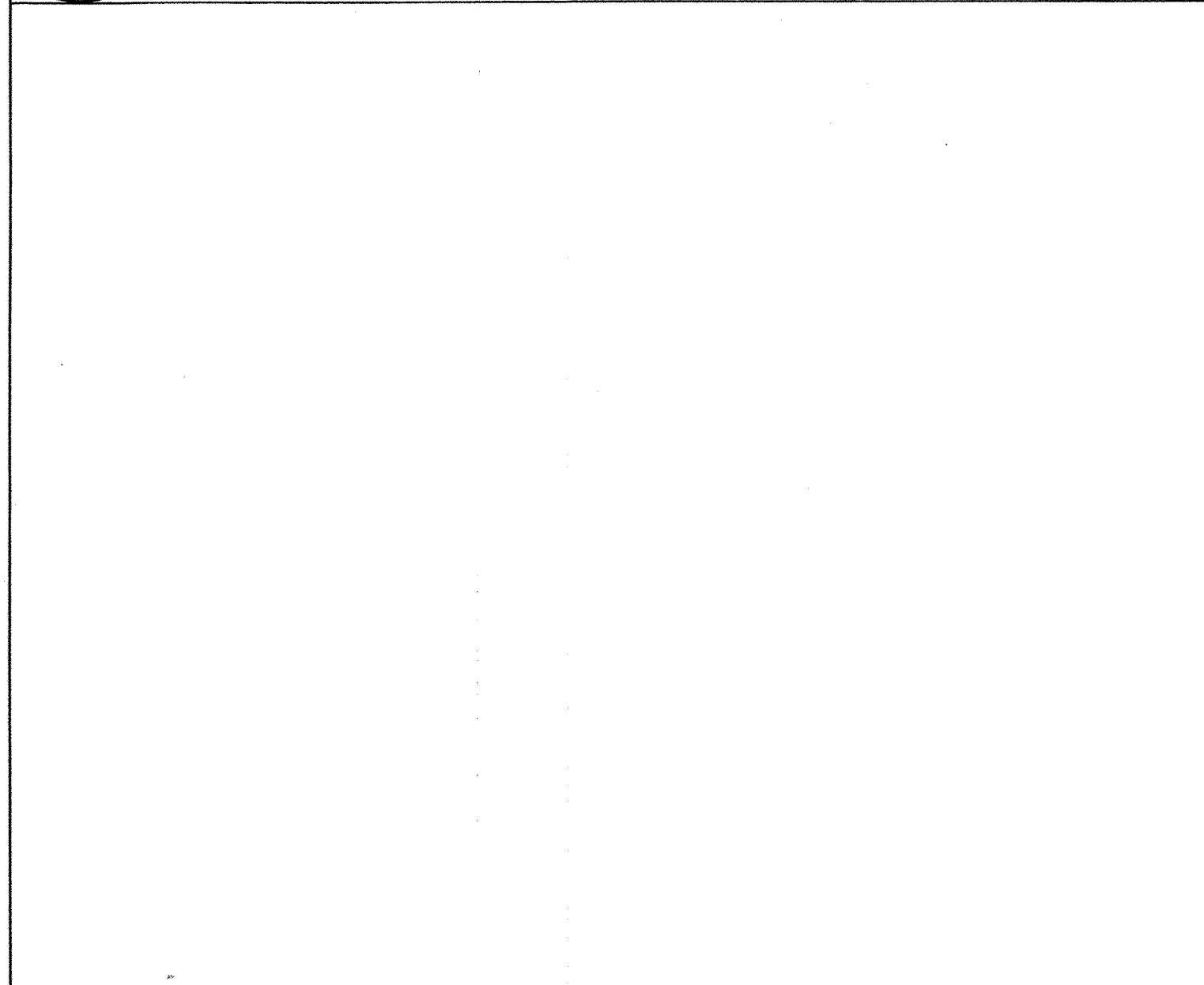
3 DETAIL
1-1/2" = 1'-0"



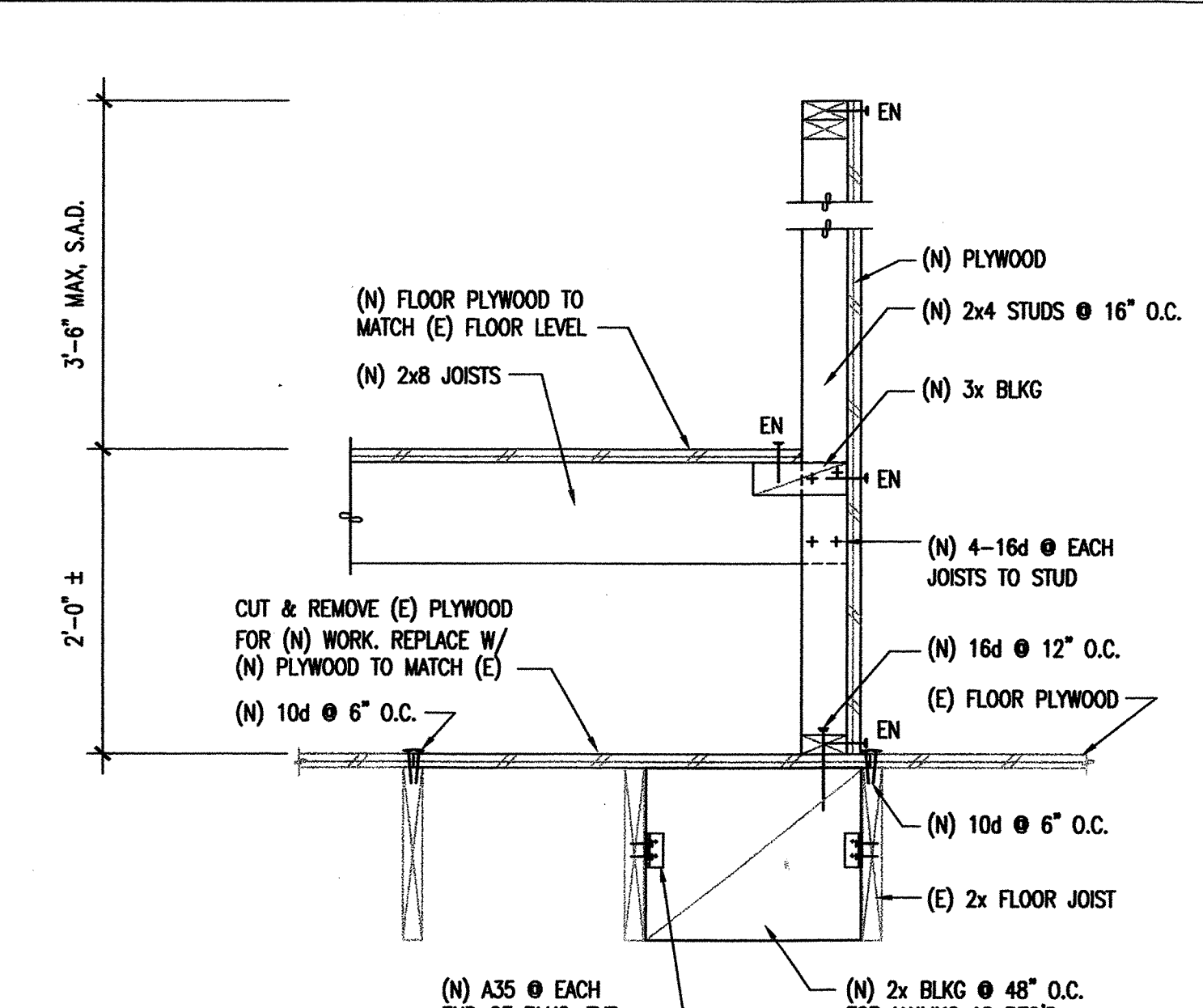
A ELEVATION
1/8" = 1'-0" (E) STEEL FRAME AT LINE (D.5)



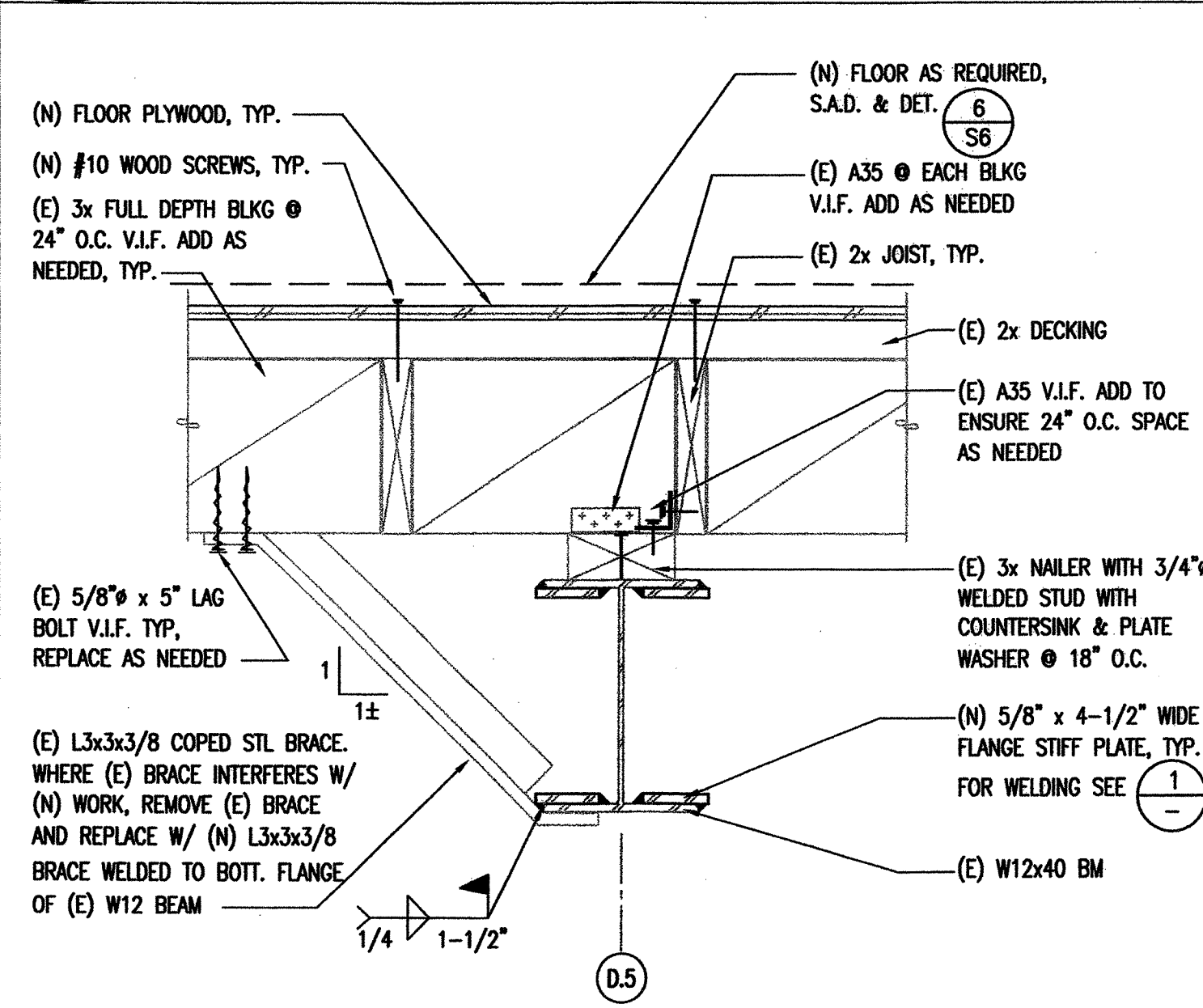
7 DETAIL
1-1/2" = 1'-0"



4 DETAIL
1-1/2" = 1'-0"



1 DETAIL
1'-1/2" = 1'-0"



8 DETAIL
1-1/2" = 1'-0"



5 DETAIL
1" = 1'-0"



2 DETAIL
1-1/2" = 1'-0"



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NAME OF PROJECT
Kensington Fire Station/Public Safety Building Renovation
215 Arlington Ave.
Kensington, CA

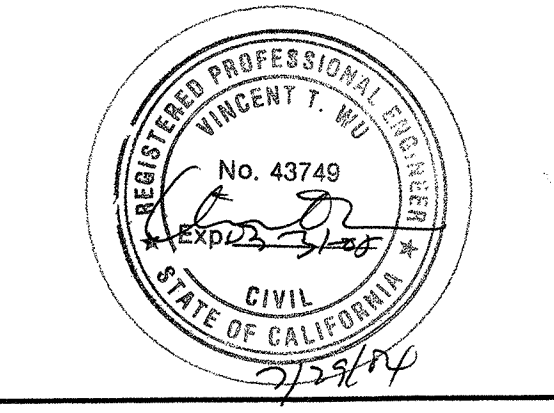
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No.	Revision/Issue	Date
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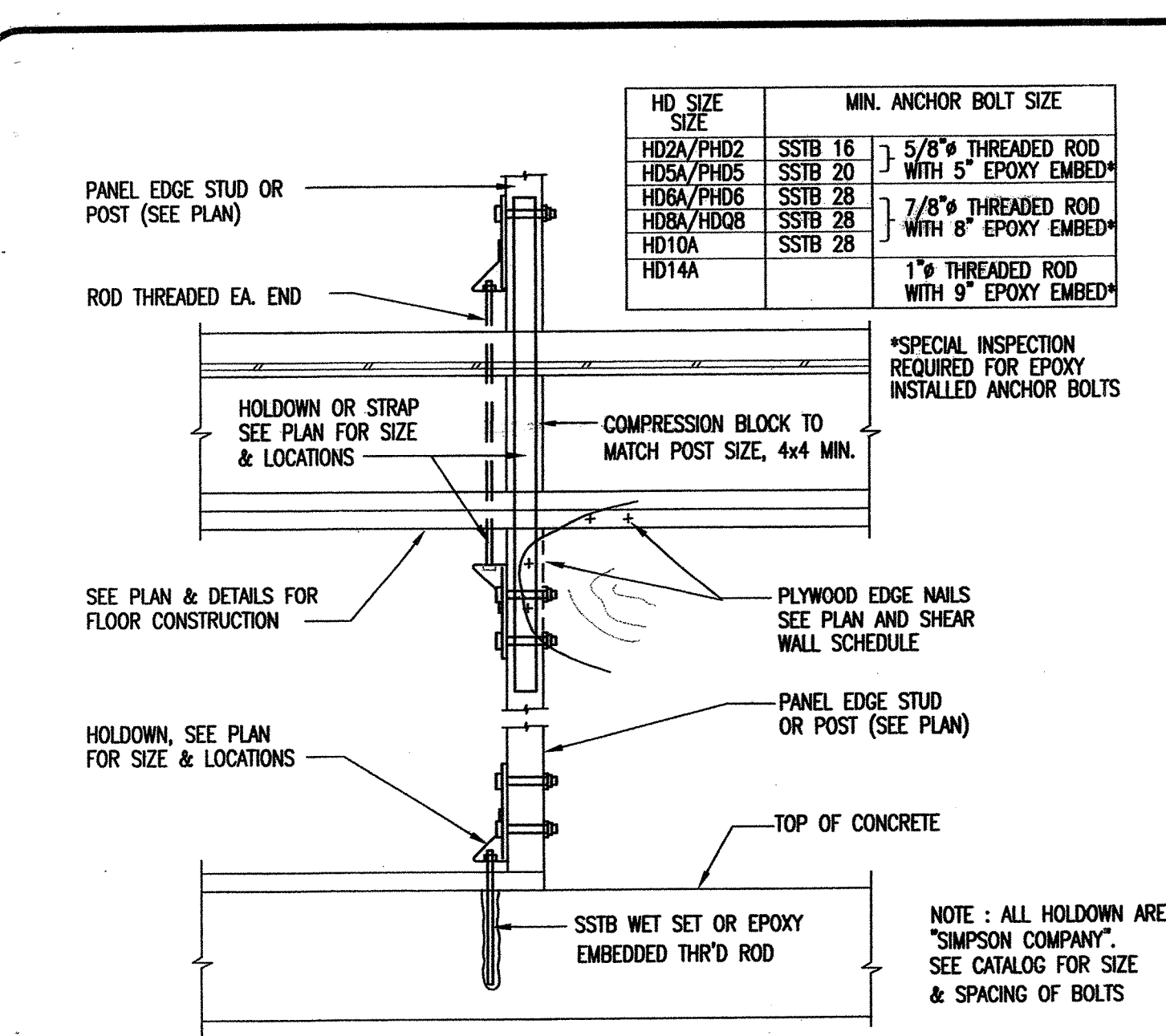
PROJECT No. : 040101
DRAWN BY : SW
CHECK BY : VTW
DATE : 06-21-04
SCALE : AS SHOWN



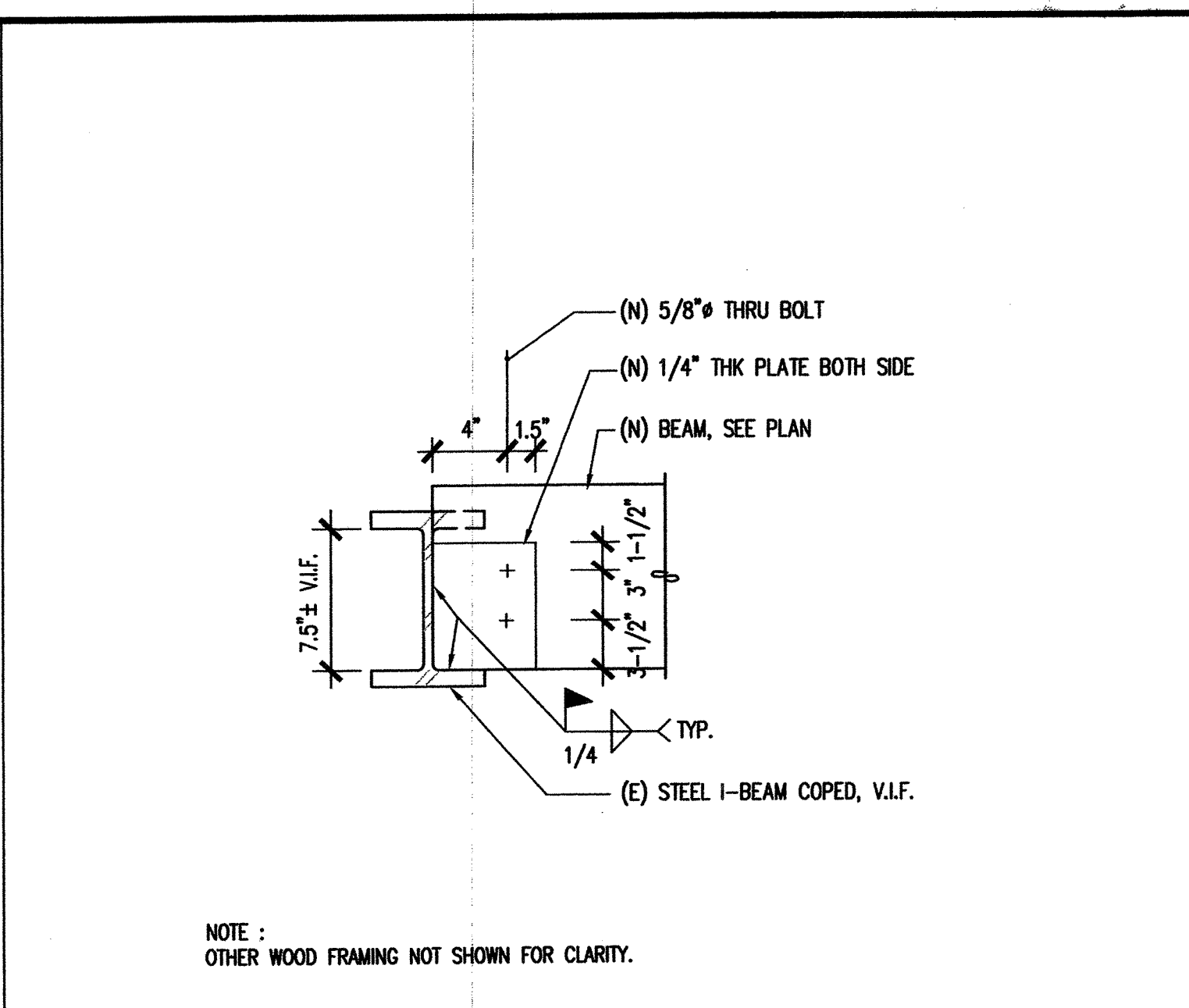
DRAWING TITLE
DETAILS

DRAWING No.

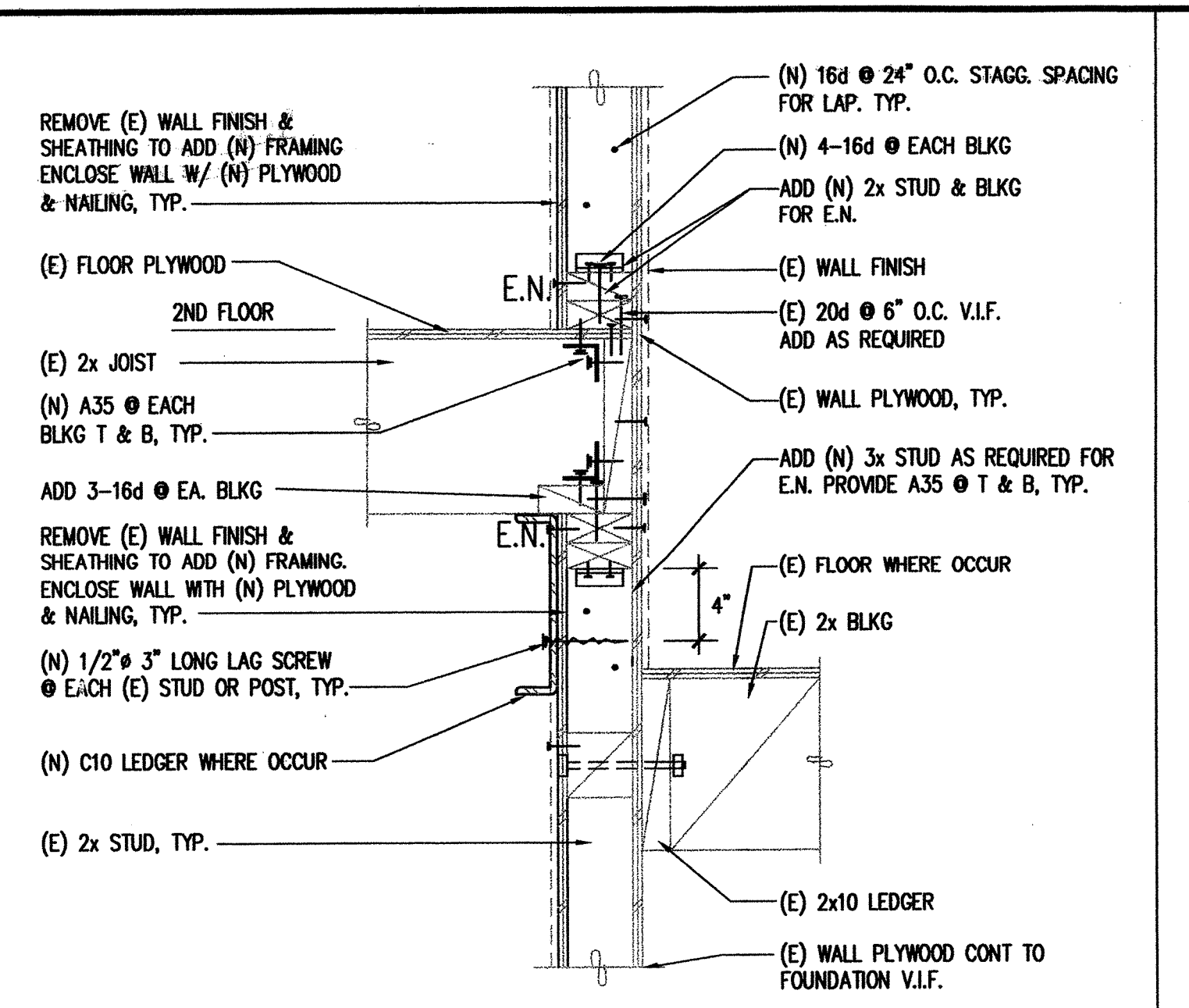
S6



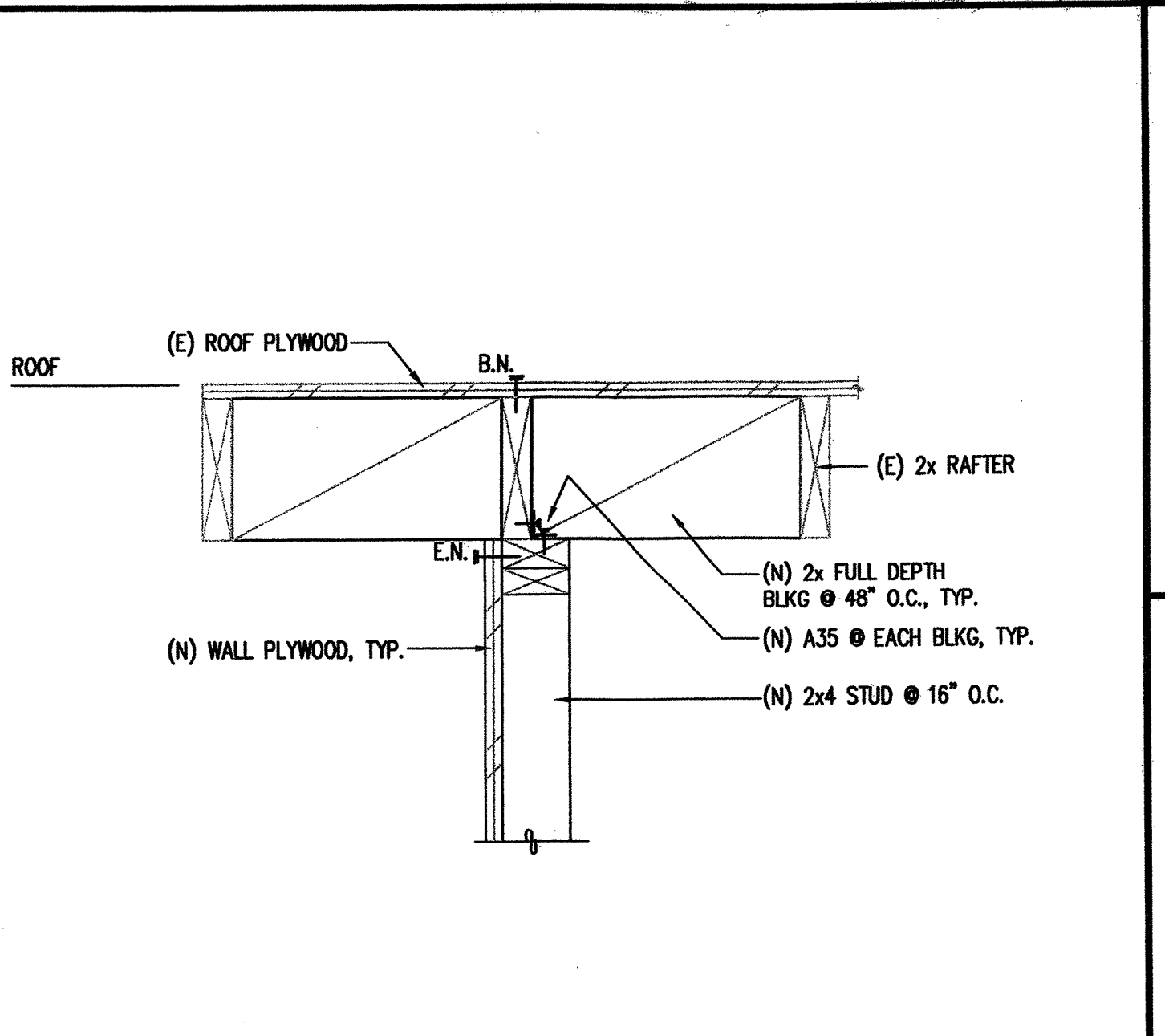
9 DETAIL
1'-1/2" = 1'-0"



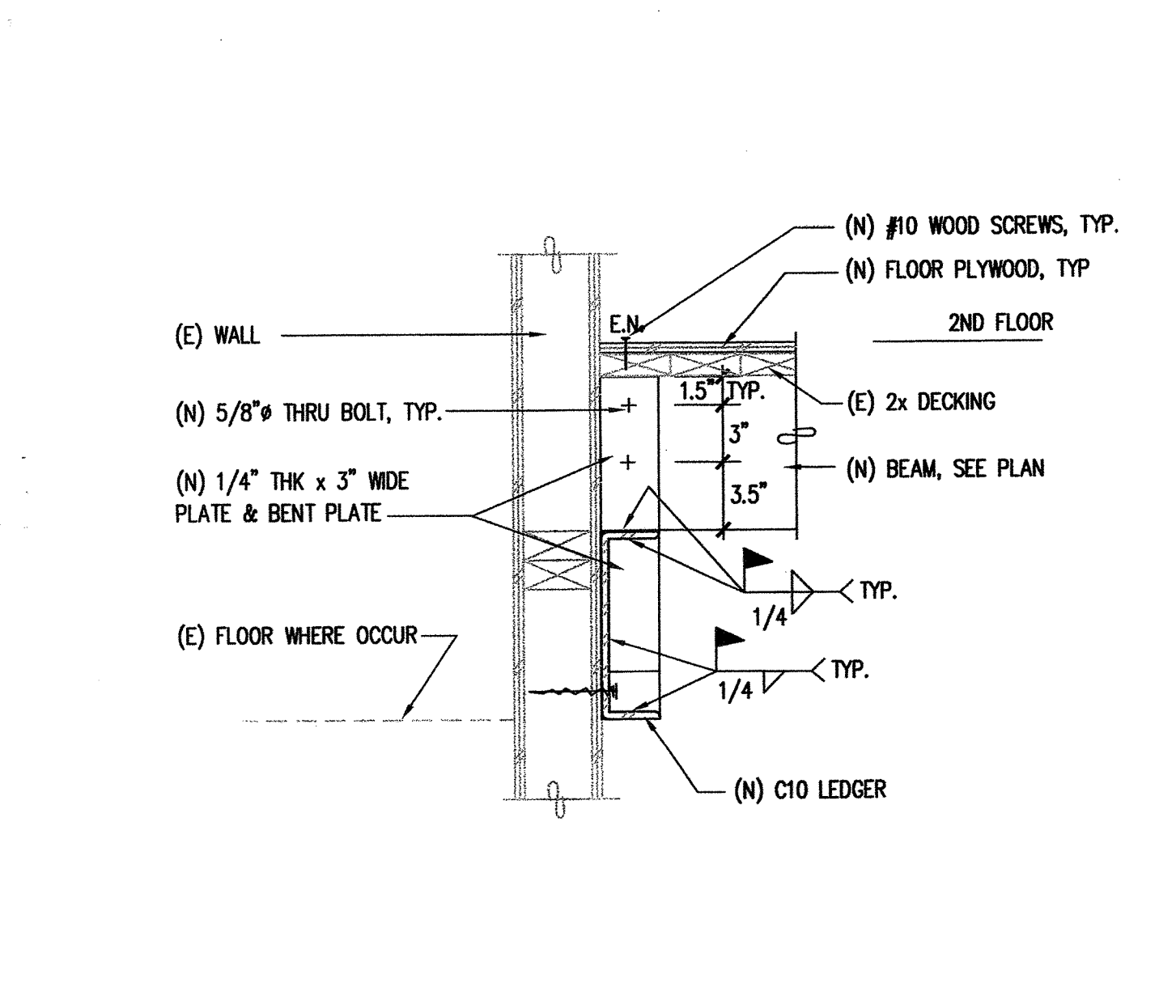
7 DETAIL
1'-1/2" = 1'-0"



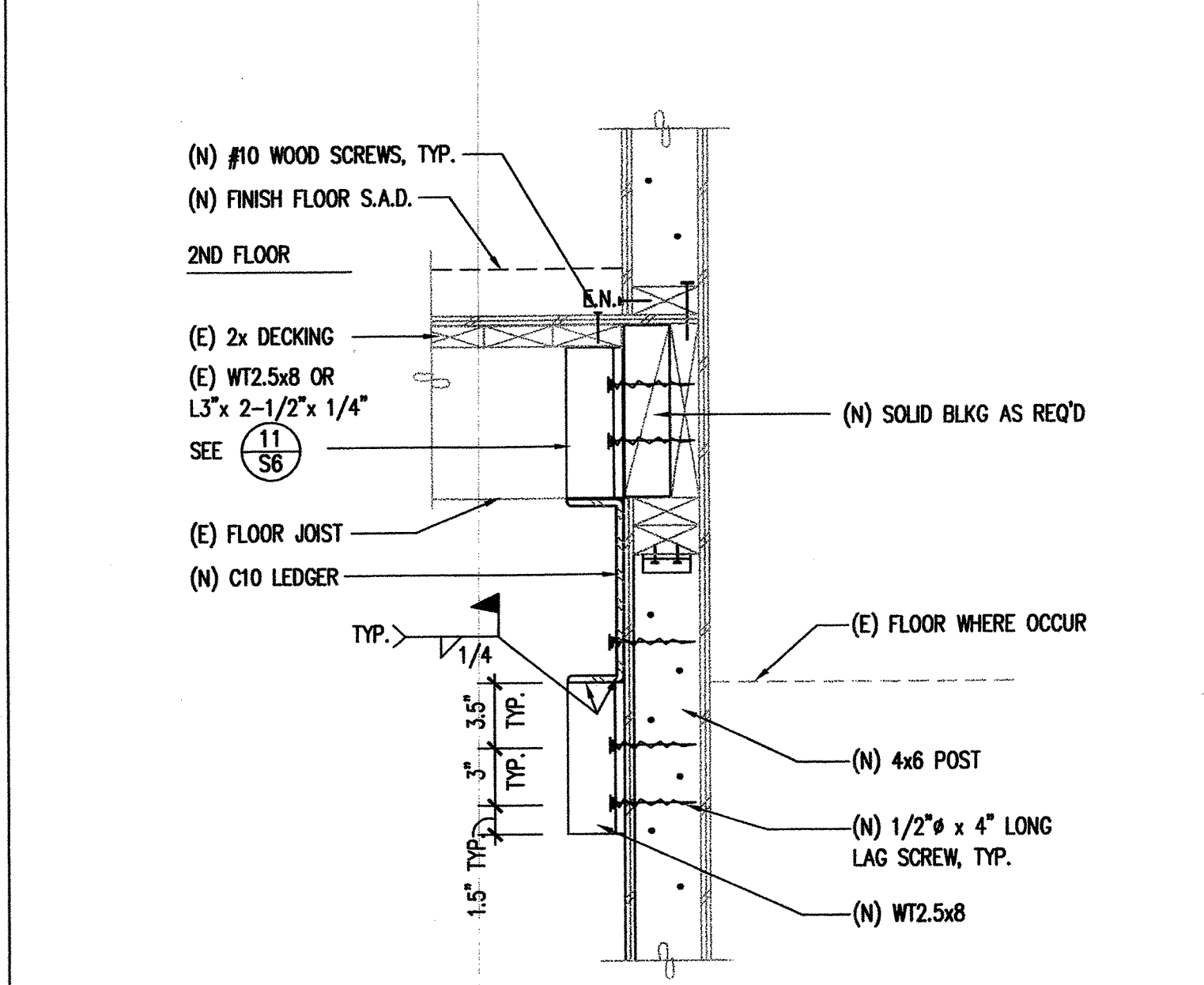
4 DETAIL DETAIL @ LINE 4
1'-1/2" = 1'-0"



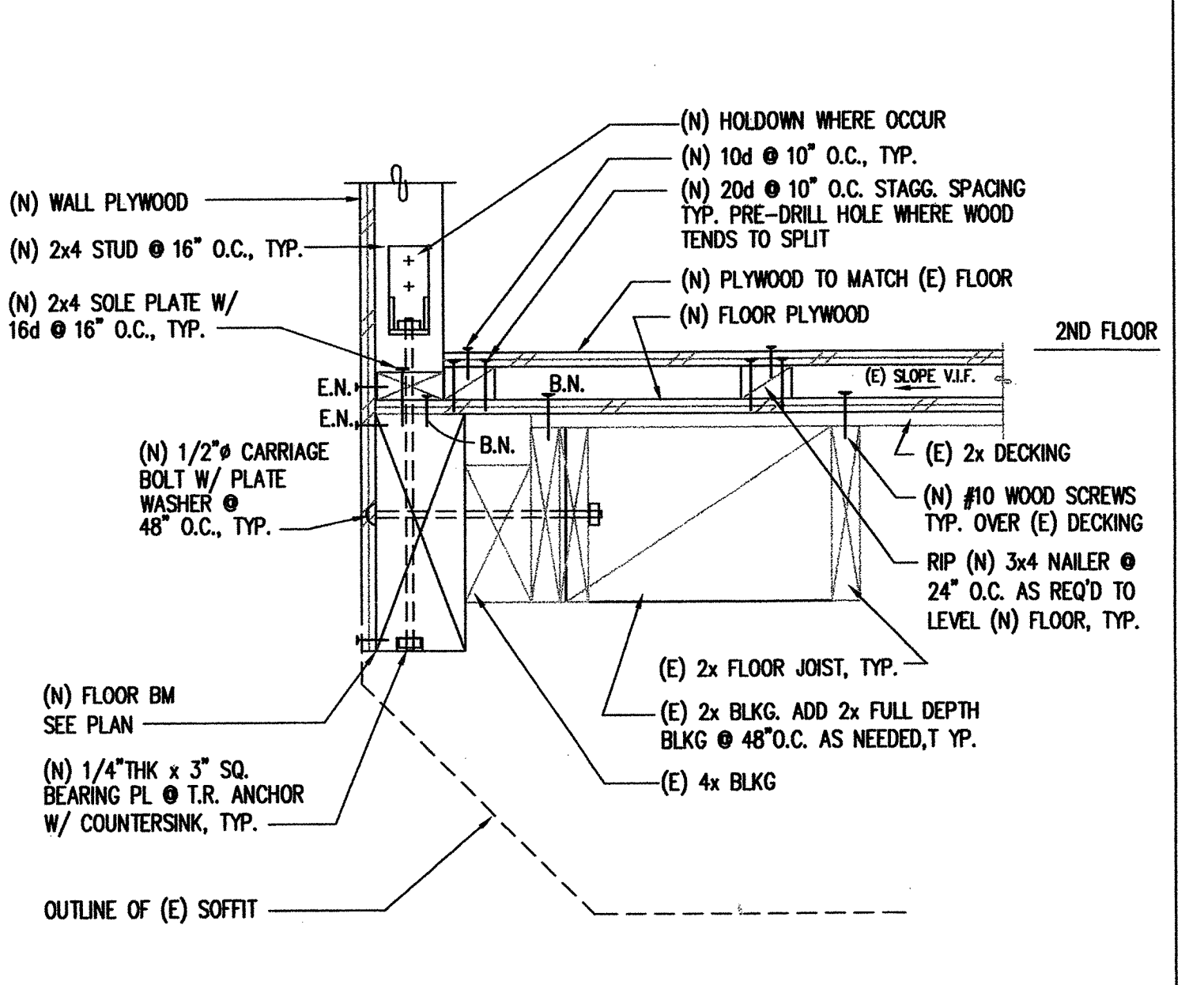
1 DETAIL
1'-1/2" = 1'-0"



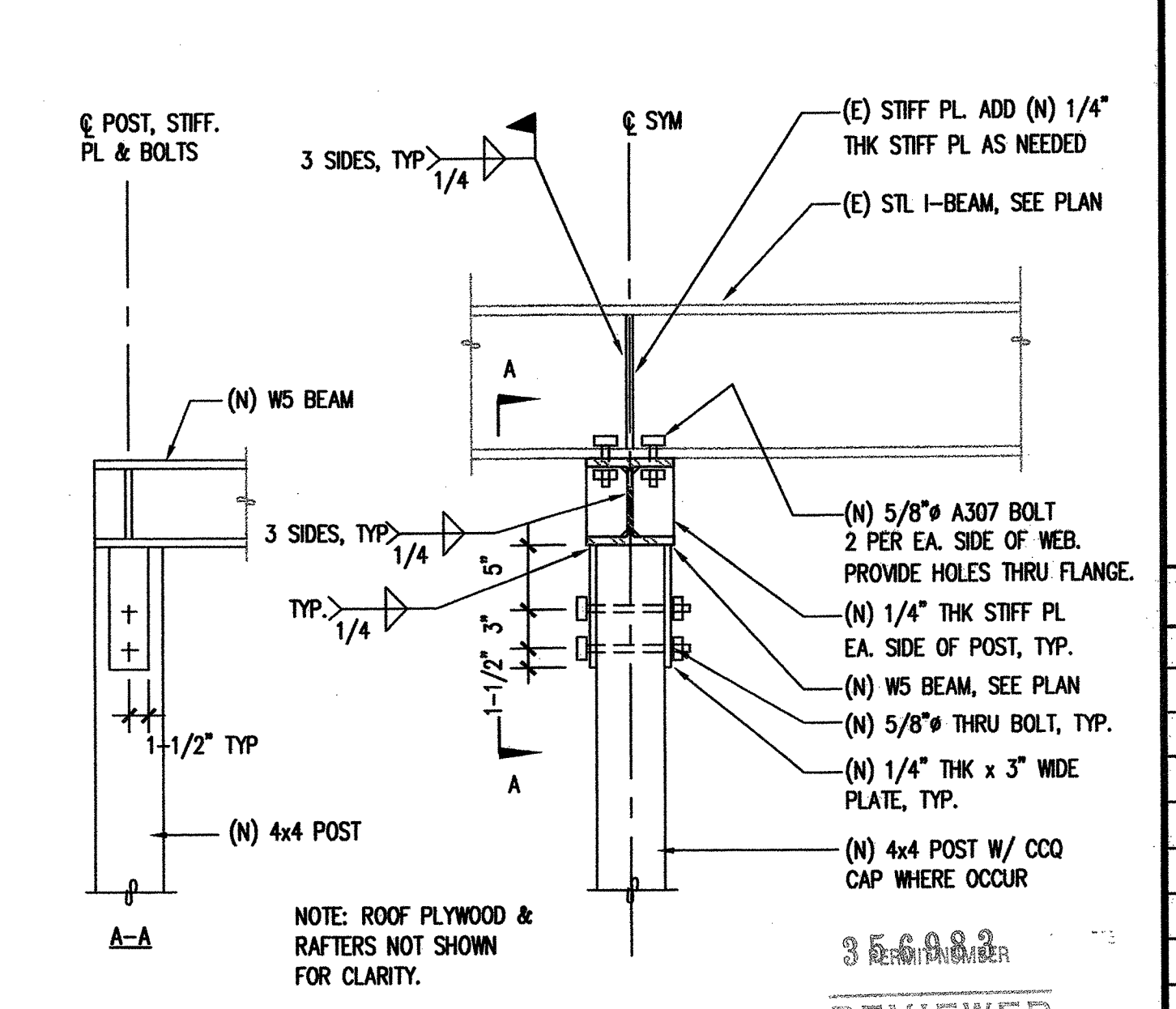
10 DETAIL
NOT TO SCALE



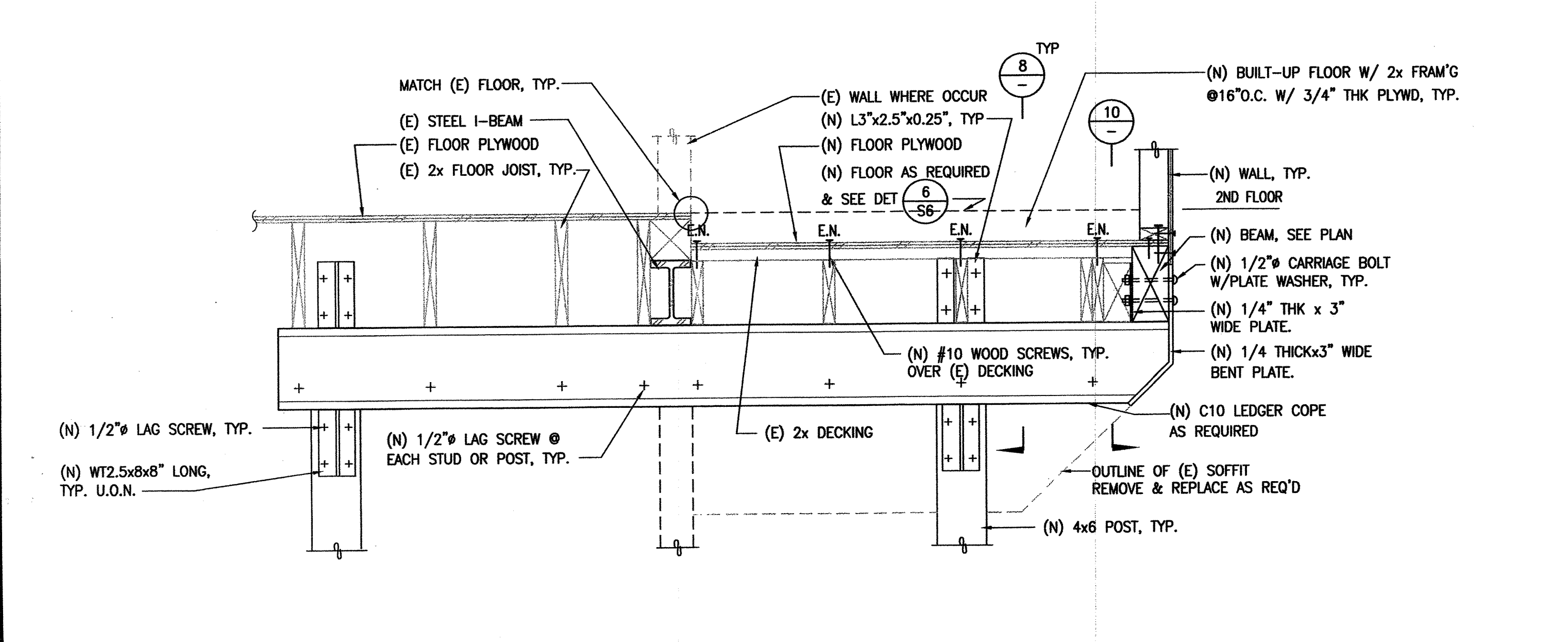
8 DETAIL
1" = 1'-0"



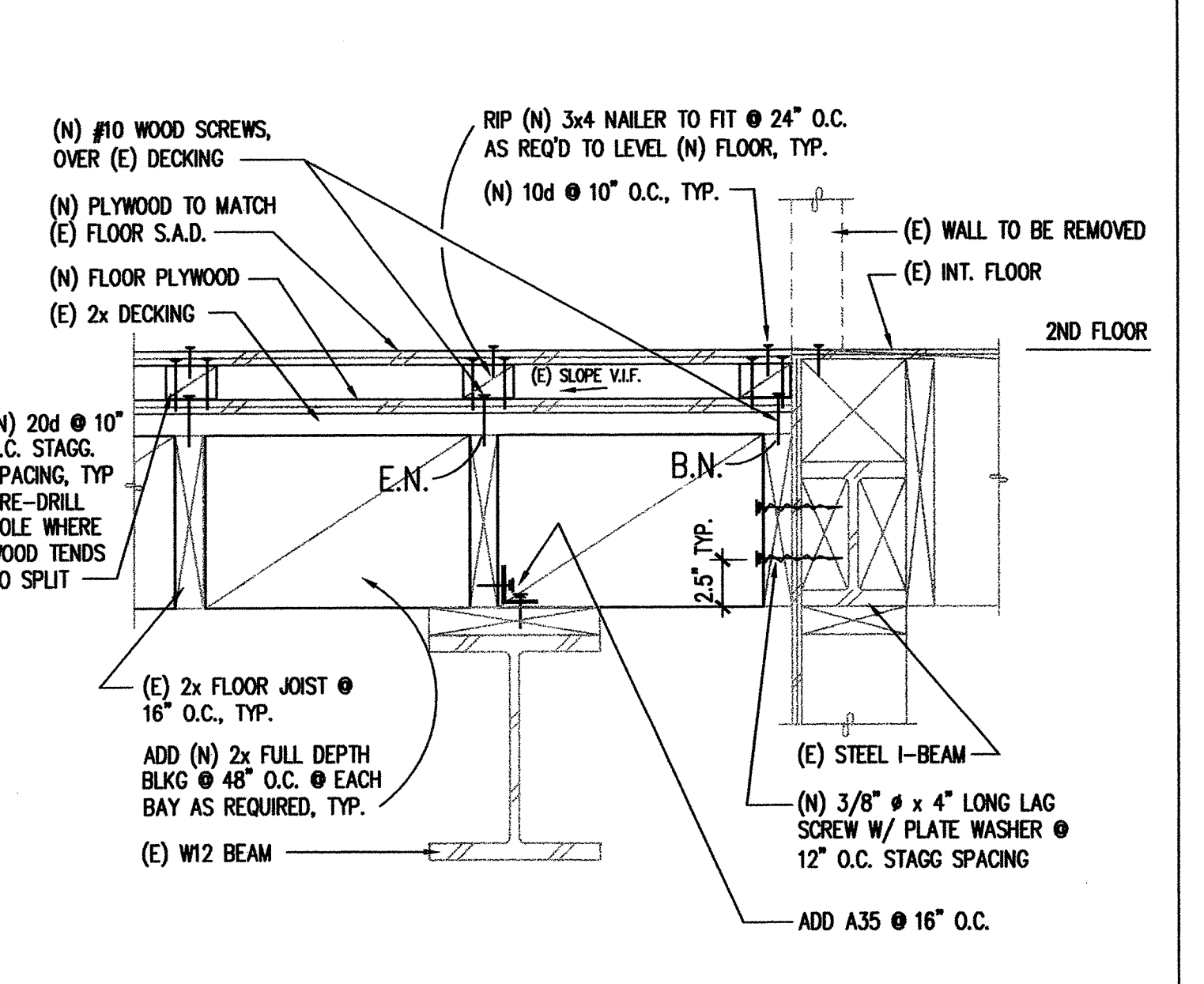
5 DETAIL
1'-1/2" = 1'-0"



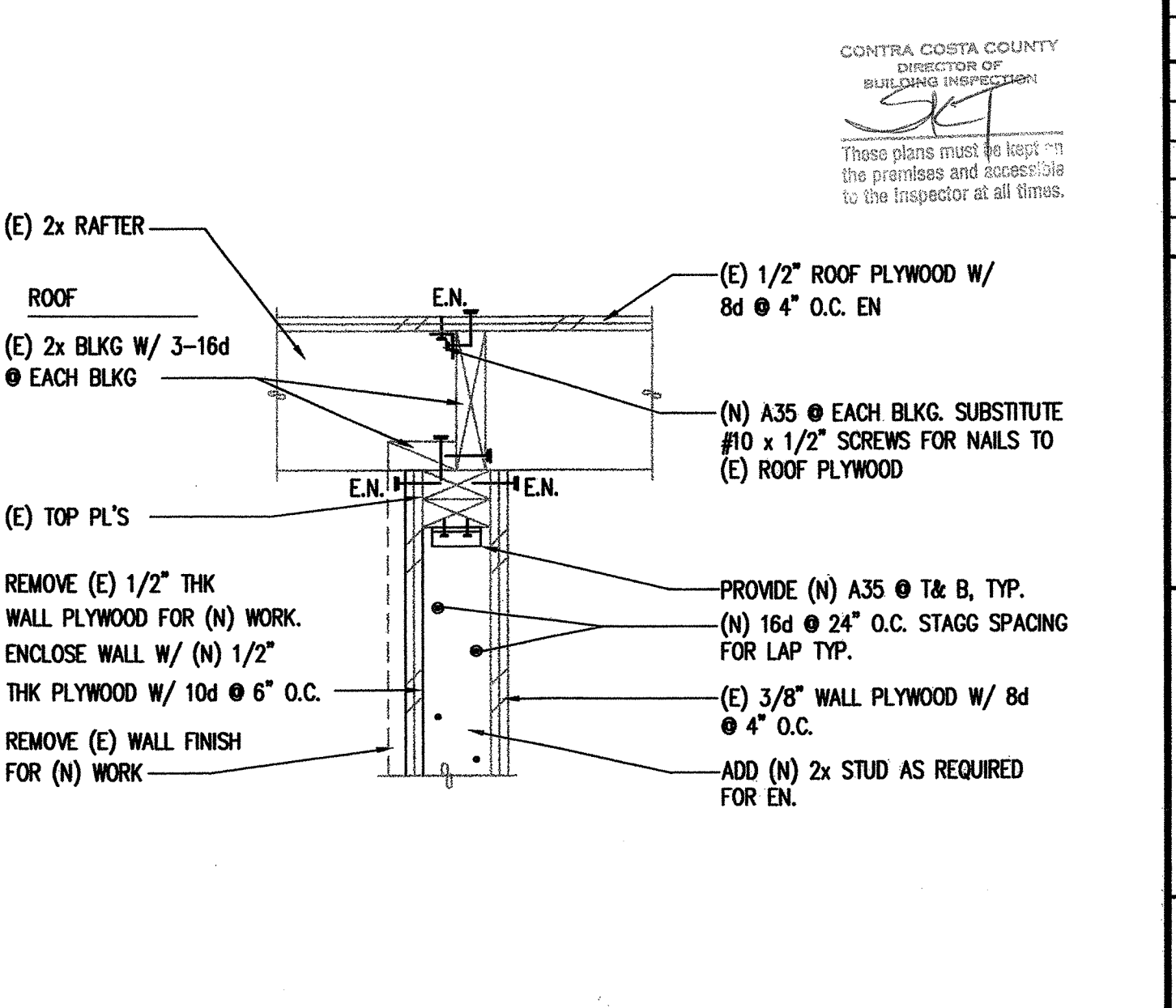
2 DETAIL
1-1/2" = 1'-0"



11 DETAIL
1" = 1'-0"



6 DETAIL
1'-1/2" = 1'-0"



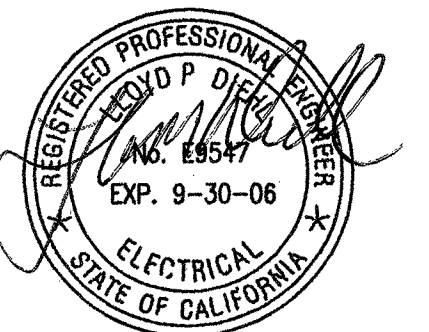
3 DETAIL DETAIL @ LINE 4 & D.3
1'-1/2" = 1'-0"

**ITALO A. CALPESTRI III
& ASSOCIATES AIA**

BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427

WECO ELECTRIC
LLOYD P. DIEHL, PE.
P.O. BOX 6124
CONCORD, CA 94524
BUS: (925) 672-0969
FAX: (925) 672-4974

STAMP:



356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY
BUILDING ORD. AND CODES.
THE ENGINEER OF THIS PLAN AND
SPECIFICATIONS SHALL NOT BE HELD
RESPONSIBLE FOR THE DESIGN OF THE
WORK OR FOR ANY COUNTY ORDINANCE OR
SLOPE LAW.

CONTRA COSTA COUNTY
DIRECTOR OF
BUILDING INSPECTION
SK
These plans must be kept on
the premises and accessible
to the inspector at all times.

REVISIONS:
No. DESCRIPTION DATE

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
SYMBOLS LIST, LIGHTING FIXTURE SCHEDULE,
COUNTY NOTES, PANELS,
SINGLE LINE DIAGRAM.

PROJECT No. :
DRAWN BY: LLOYD DIEHL
CHECKED BY: LLOYD DIEHL
DATE: 6-2-2004
SCALE: AS NOTED

SYMBOLS LIST

- ⊕ RECESSED LIGHT FIXTURE
- ▭ COVE LIGHT OR UNDER COUNTER
- RECESSED OR SURFACE MOUNTED ELECTRICAL PANEL AS SHOWN
SEE PANEL SCHEDULES FOR AMPS, VOLTS, PHASE, MOUNTING, ETC.
MAINTAIN 36" CLEAR IN FRONT FOR 120/208V PANELS; 42" CLEAR
FOR 277/480V. (30" WIDTH CLEAR ACROSS FRONT AND 6.5' OF
HEADROOM) N.E.C. ART 110-16.
- ⊕ Duplex Duplex RECEPTACLE 1P20A, G.F.C.I. RATING, HEIGHT AS NOTED,
MATCHING OUTLET AND COVERPLATE, PER ARCHITECT. 20A. 120V.
FEED THRU FEATURE. +15" UON.
- ⊕ Duplex Duplex RECEPTACLE 1P20A +15" UON, VERIFY COLOR OF
OUTLET AND COVERPLATE. 125V GROUNDED
NEMA 5-20, HUBBELL OR EQUAL. (FLUSH MOUNTED)
COMMERCIAL GRADE. UON.
- ⊕ JUNCTION BOX- CEILING; WALL MOUNTED. ACCESSIBLE IN ALL LOCATIONS
- ⊕ DEDICATED 1P20A RECEPTACLE - HT. AS NOTED. (FLUSH MOUNTED)
- ▷ DATA/PHONE OUTLET +15" CONDUIT AND WIRE BY
TEL, CABLE CONTRACTOR.
- ▷ C.A.T.V. OUTLET +15"
- ⊕ MOTOR OUTLET AND CONNECTION TO MOTOR
- ⊕ WALL MOUNTED SWITCH, 1P20A SPST. +48" UON.
FLUSH MOUNTED IN FINISHED AREAS. COLOR OF OUTLET AND
COVERPLATE PER ARCHITECT.
- +— BRANCH CIRCUIT HOMERUN TO PANEL, 2#12, 1/2" C. MIN.
ADDITIONAL CONDUCTORS AS INDICATED.
- +— BRANCH CIRCUIT RACEWAY, 3#12, 1/2" C. INDICATED.
ADDITIONAL CONDUCTORS AS INDICATED.
- A LIGHTING FIXTURE TAG- SEE FIXTURE SCHEDULE
UNLESS OTHERWISE NOTED
- (E) EXISTING
- (N) NEW
- D DEDICATED
- G.F.I. GROUND FAULT INTERRUPTER
- WP. WEATHERPROOF
- C. CONDUIT
- G. GROUND
- CU. COPPER
- V. VOLTAGE
- EF EXHAUST FAN
- P. POLE

LIGHTING FIXTURE SCHEDULE

TYPE	DESCRIPTION	VOLTS	MANUF. CAT. NO.	LAMPS
A	RECESSED FLUORESCENT 6" 2-26W CFL, DIMMABLE WHERE SHOWN, ELECTRONIC BALLAST, TRIM AND COLOR BY ARCH.	120V.	INTENSE #IFS7226E	2-26W CFL
B	UNDER COUNTER FLUORESCENT LIGHTS, 4' LONG, WITH RECEPTACLE AND SWITCH, T-8 LAMPS, ELECTRONIC BALLAST	120V.	SIMKAR #VW-132-B11-120V.	1-F032TB
C	PENDANT HUNG DECORATIVE FIXTURE. SEE DETAIL ON E-2.	120V.	SHAPER #415DCF-120-SSB-CT	1-75W HALOGEN 4-27W CPF ELECTRONIC BALLASTS
D	4' DISPLAY CABINET LIGHT FLUORESCENT, WRAP AROUND ACRYLIC LENS,	120V.	SIMKAR #SP175-132-B11-120V.	1-F032TB

FIXTURE SCHEDULE NOTES:

- EXTERIOR FLUORESCENT FIXTURES TO HAVE DAMP LOCATION LABEL.
- CONTRACTOR TO NOTIFY ARCHITECT OF ANY CONFLICT OF LIGHT
FIXTURE LOCATIONS WITH MAIN RUNNERS, DUCTS, ETC. PRIOR
TO ROUGH-IN.
- CENTER DOWNLIGHT/WALLWASHER FIXTURES IN CEILING TILES (UON).
- LOCATE LIGHT FIXTURES TO MISS SPRINKLER HEADS BY 12" MIN.
- VERIFY CEILING TYPES PRIOR TO ORDERING FIXTURES.
- VOLTAGES AS NOTED ON SCHEDULE OR ON PLANS.

CITY/COUNTY NOTES:

- ALL EQUIPMENT SHALL BE LISTED BY AND
BE APPROVED BY A TESTING LABORATORY AND
SHALL BE INSTALLED AS PER ANY INSTRUCTIONS
INCLUDED IN THE LISTING AND LABELING.
- PENETRATIONS OF FIRE RATED WALLS, CEILINGS OR
FLOORS, SHALL COMPLY WITH U.B.C.
REQUIREMENTS.
- ALL CONTROL DEVICES TO BE USED BY THE
OCCUPANT OF THE ROOM OR AREA SHALL BE
INSTALLED AT A MINIMUM OF 36-48" FROM
FINISHED FLOOR. THIS INCLUDES THERMOSTATS
UNLESS COVERED WITH A LOCKING COVER.
- ALL RECEPTACLE OUTLETS SHALL BE INSTALLED
AT A MINIMUM HEIGHT OF 15" ABOVE FINISHED
FLOOR, PER CITY. (TO C.L. OF OUTLET).

PANEL A		120 / 208 VOLTS			1	PHASE	3	WIRE	MAIN		MOUNTING	
		TYPE			NEMA 1	BUS	225A	LUGS ONLY		SURFACE		
CIRC NO.	LOAD DESCRIPTION AND LOCATION	LUG	RECEPT	BRKR	PHASE	KVA LOADS	BRKR	RECEPT	LOAD DESCRIPTION AND LOCATION	CIRC NO.	LUG	RECEPT
1	CORD REELS				A				PLUGMOLD- TRAIN RM.	2		
3	MICROWAVE (N)				B				DISPOSAL. KIT. FIRST	4		
5	COPIER								LTS- KITCHEN	6		
7	REC- KITCHEN 1ST FLR.								REC- BRENDA OFFICE	8		
9	REFRIG-KITCH. 1ST FLR.								REC- ROOF	10		
11	LTS- CONFERENCE ROOM								LTS- DAY ROOM	12		
13	LTS- DAY ROOM								SPARE	14		
15	LTS- KITCHEN, 2ND FLR.								LTS- FIRST FLOOR	16		
17	ROOF EXHAUST FAN								LTS- ADP. BAY	18		
19	LTS- EXTERIOR								REC- RM 111, 108	20		
21	2ND FLR. BATH AND DORM								RM 103	22		
23	REC- OFFICE AND CONFER.								MISC.	24		
25	REC- DAY ROOM/ T.V.								MISC.	26		
27	SQUAD ROOM								SHOP	28		
29	DARK ROOM AND HALL								MISC.	30		
31	PARKING LOT LIGHTING								A.D.P. BAY	32		
33	REC- KITCHEN (N)								A.D.P. BAY	34		
35	REC- DAY ROOM (N)								PARAMEDIC (N)	36		
37	REC- KITCHEN (N)								FAX/DISP/COPIER	38		
39	REC- KITCHEN (N)								LTS- EXHAUST AND HALL	40		
41	COFFEE MAKER (N)								REC- POLICE CHIEF	42		
MIN. C.B. INTER. CAPACITY		SUB TOTALS		LCL		KVA/ 25% =		KVA/		AMPS		
AMPS		TOTAL CONNECTED LOADS										

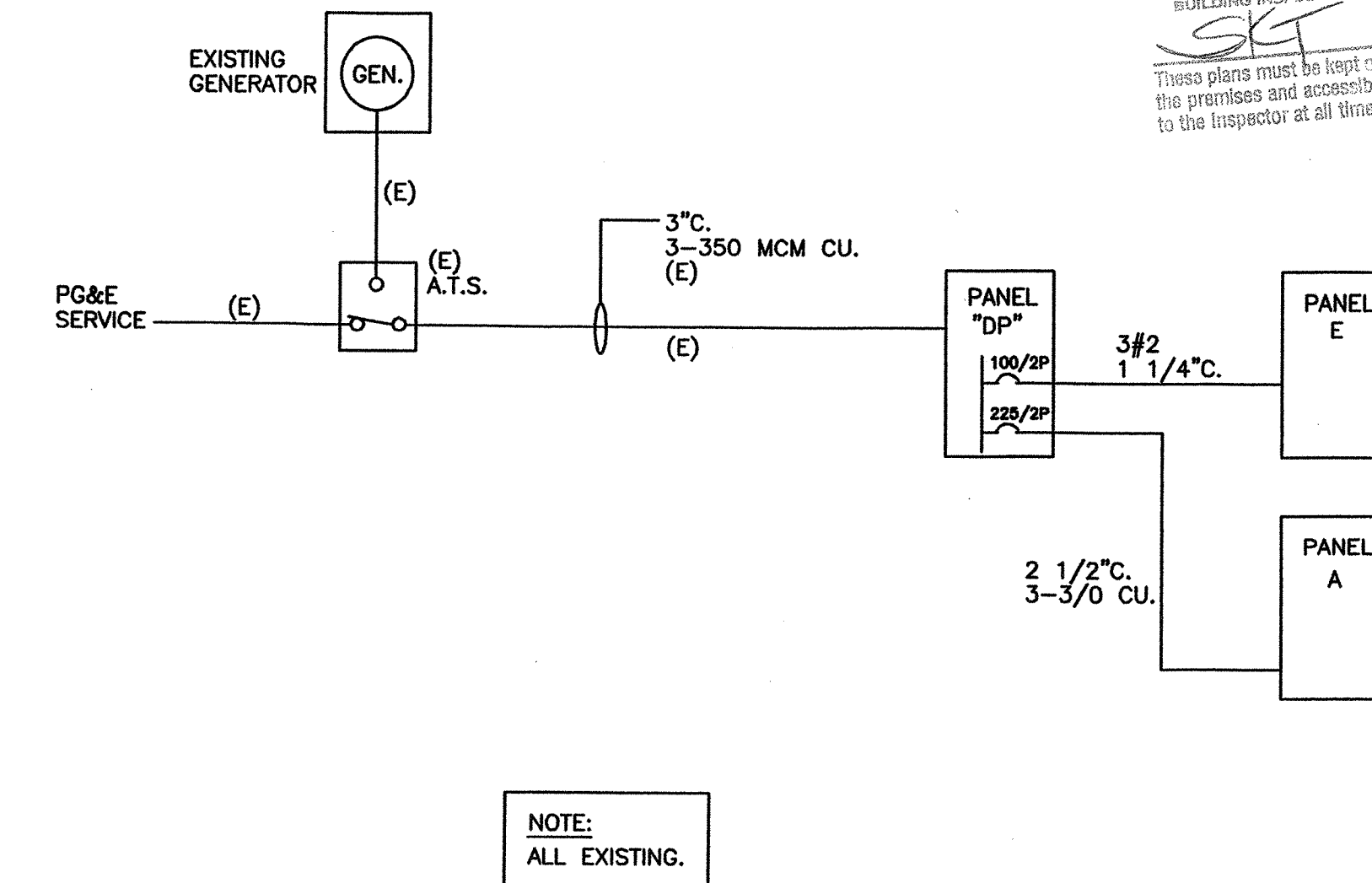
* REMOVE DOUBLE LUGING AND SPLICE TO MEET CODE. ALL EXISTING EXCEPT AS NOTED.

PANEL DP		120 / 240 VOLTS			1	PHASE	3	WIRE	MAIN		MOUNTING	
		TYPE			NEMA 1	BUS	300A	LUGS ONLY		SURFACE		
CIRC NO.	LOAD DESCRIPTION AND LOCATION	LUG	RECEPT	BRKR	PHASE	KVA LOADS	BRKR	RECEPT	LOAD DESCRIPTION AND LOCATION	CIRC NO.	LUG	RECEPT
1	HF-1				A				EXH. FAN 1-6	2		
3	HF-2				B				UNIT HEATER #1	4		
5	HF-3								(E) DISPOSAL	6		
7	A/C FD SECOND FLR.								(E) DISHWASHER	8		
9									A.C. POLICE DEPART.	10		
11	A/C PD, SECOND FLR.								SPARE	12		
13									PANEL A SUBFEED	14		
15	HOSE DRYER									16		
17									POLICE RM COMPR.	18		
19	HVAC UNIT									20		
21									GEN. HEATER	22		
23	SPACE								SPARE	24		
25	HVAC UNIT/OFFICES (N)								HVAC/COND- P.DEPT (N)	28		
27										28		
29										30		
31										32		
33										34		
35										36		
37										38		
39										40		
41										42		
MIN. C.B. INTER. CAPACITY		SUB TOTALS		LCL		KVA/ 25% =		KVA/		AMPS		
AMPS		TOTAL CONNECTED LOADS										

* REMOVE DOUBLE LUGING AND SPLICE TO MEET CODE. ALL EXISTING EXCEPT AS NOTED.

PANEL E (E)		120 / 240 VOLTS			1	PHASE	3	WIRE	MAIN		MOUNTING	
		TYPE			NEMA 1	BUS	100	LUGS ONLY		SURFACE		
CIRC NO.	LOAD DESCRIPTION AND LOCATION	LUG	RECEPT	BRKR	PHASE	KVA LOADS	BRKR	RECEPT	LOAD DESCRIPTION AND LOCATION	CIRC NO.	LUG	RECEPT
1	OVERHEAD DOOR				A				REC- EXISTING	2		
3	OVERHEAD DOOR				B				MISC. EQUIPMENT	4		
5	PLUGMOLD-TRAINING RM.								MISC. EQUIPMENT	6		
7	REC- TELEPHONE								CONTROL S.V.	8		
9	LTS- SECOND FLOOR								LTS- S.V. 1ST 111-200	10		
11	REFER. EVIDENCE 1ST.								FIRE ALARM PANEL	12		
13	BATTERY CHARGER								REC- RECEPTION	14		
15	E.C. FIRE LINE								EXHAUST SYSTEM	16		
17	CONTROL									18		
19										20		
21										22		
23										24		
25										26		
27										28		
29										30		
31										32		
33										34		
35										36		
37										38		
39										40		
41										42		
MIN. C.B. INTER. CAPACITY		SUB TOTALS		LCL		KVA/ 25% =		KVA/		AMPS		
AMPS		TOTAL CONNECTED LOADS										

* REMOVE DOUBLE LUGING AND SPLICE TO MEET CODE. ALL EXISTING EXCEPT AS NOTED.

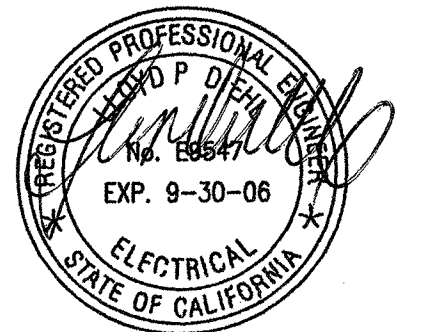


NOTE:
ALL EXISTING.

SINGLE LINE DIAGRAM

SCHEMATIC:

STAMP:



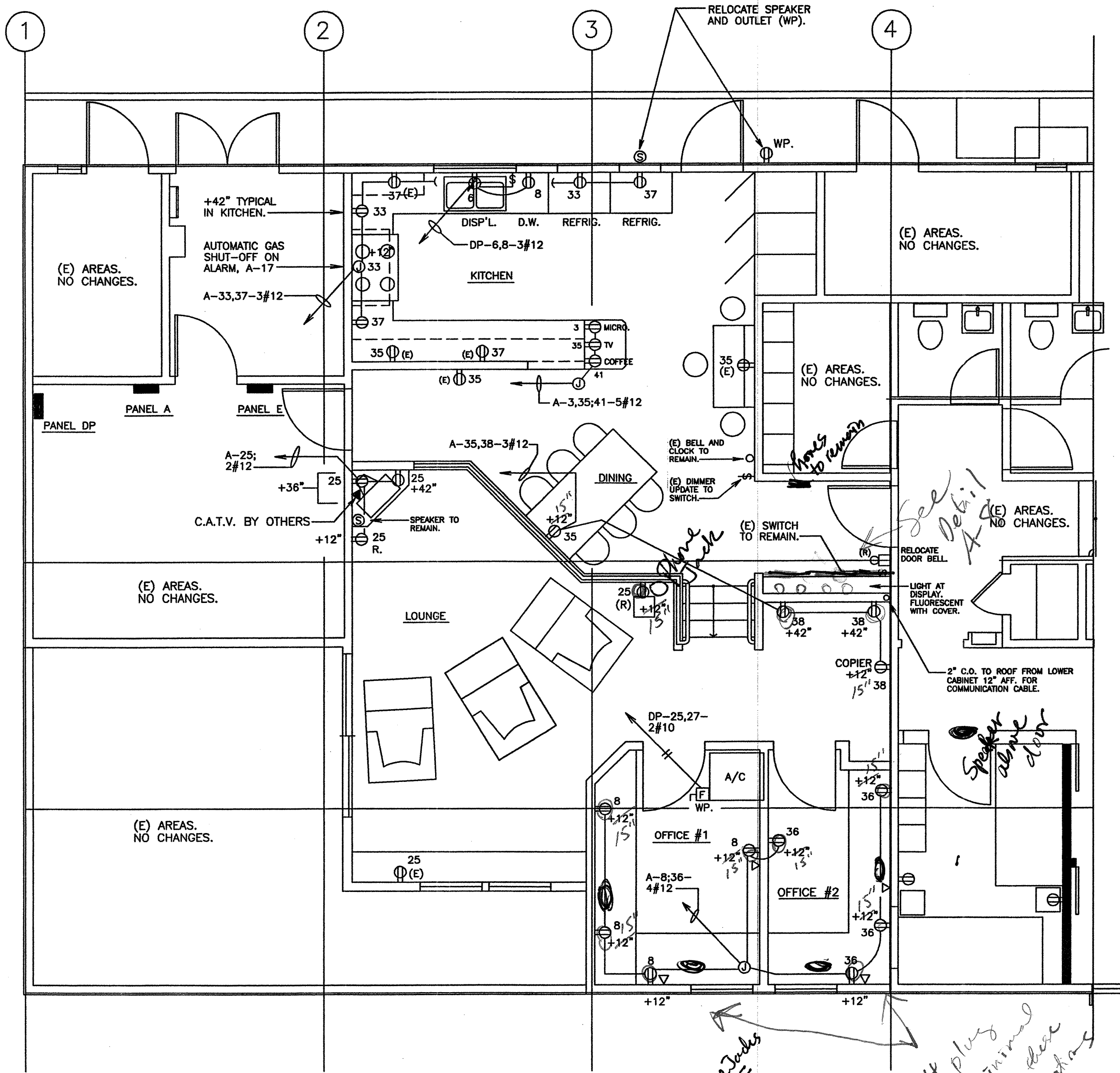
REVISIONS:	DESCRIPTION	DATE
No.		

PROJECT
KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE
POWER, SIGNAL AND LIGHTING PLAN

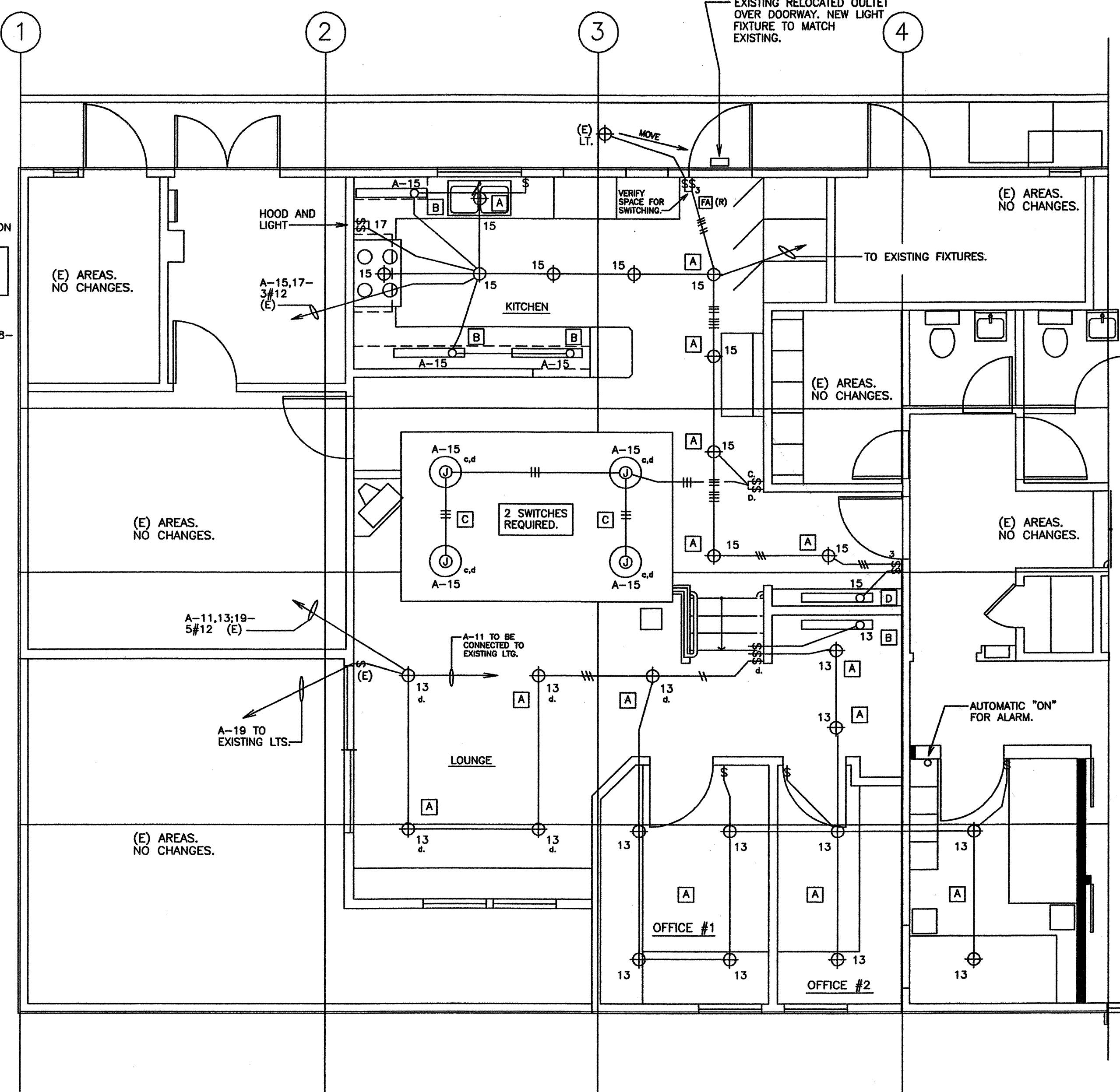
PROJECT No. :
DRAWN BY: LLOYD DIEHL
CHECKED BY: LLOYD DIEHL
DATE: 6-2-2004
SCALE: AS NOTED

SHEET NO.: E-2



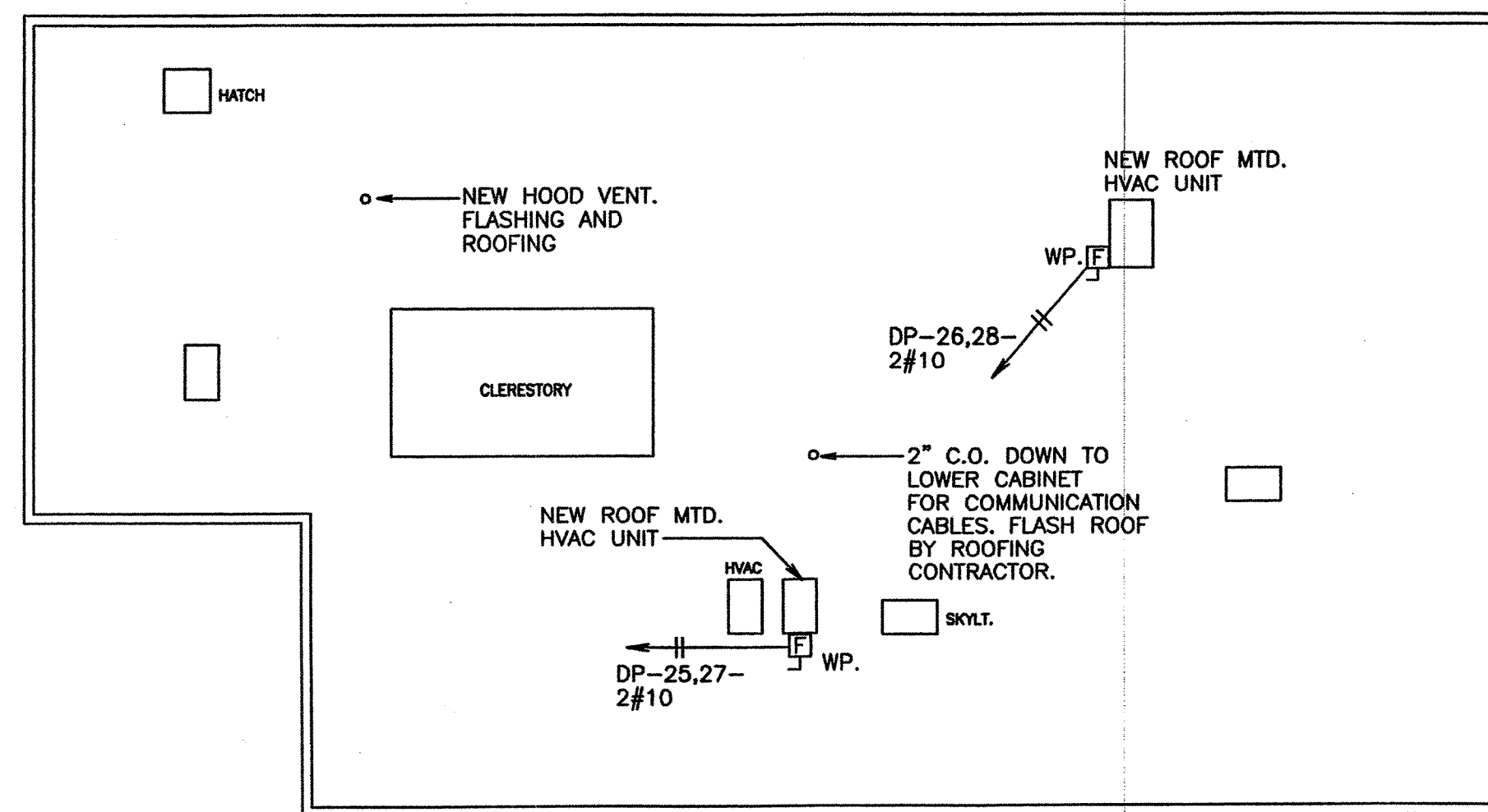
POWER AND SIGNAL PLAN

1/4"=1'-0"



LIGHTING PLAN

1/4"=1'-0"

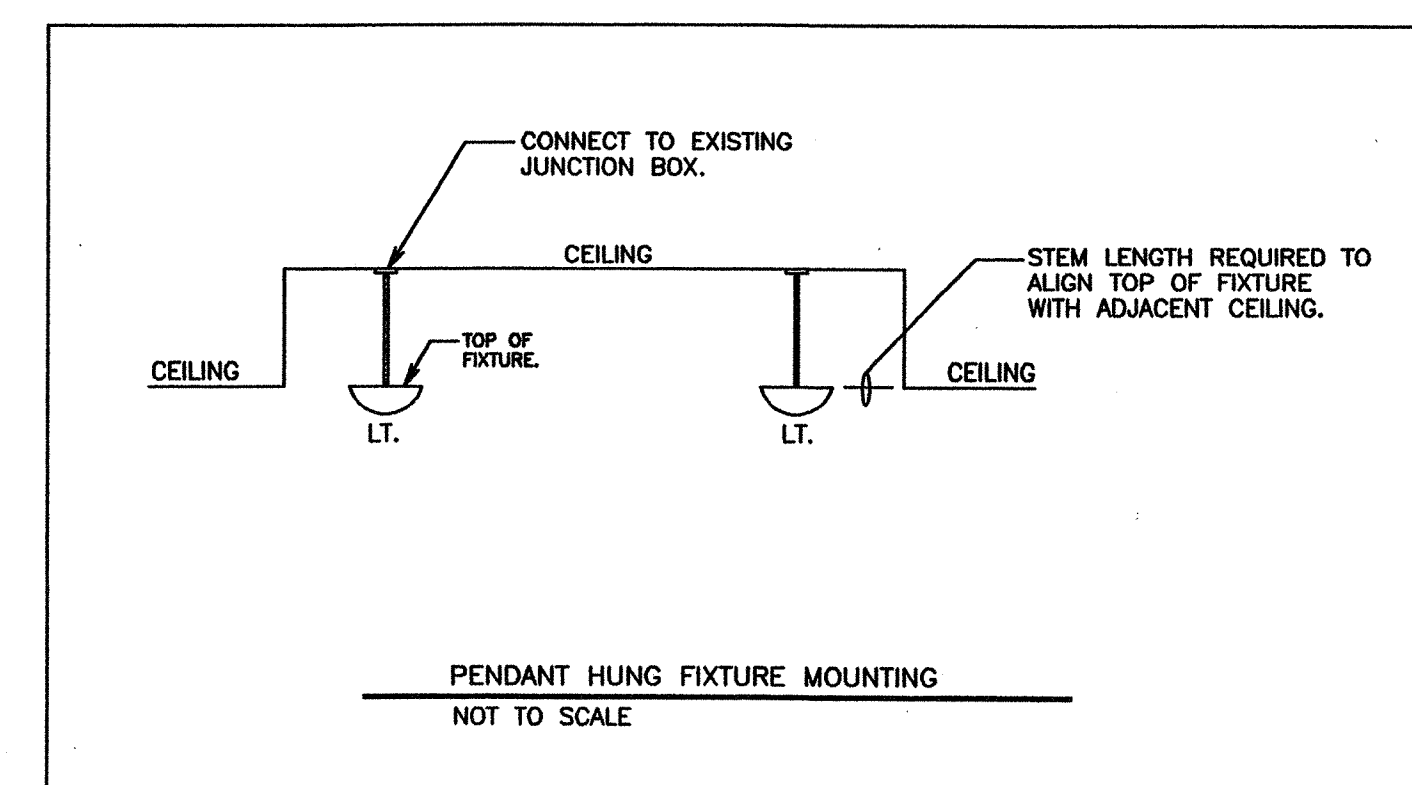


ROOF PLAN

NOT TO SCALE

General Purpose wall plugs + 15" c.f. min. A.F.F.

- 4 plug outlets
- Radio speaker
- Phone jacks
- Cabinet doors
- See Detail A2 re. Display cabinet



356983
PERMIT NUMBER

REVIEWED
FOR COMPLIANCE WITH COUNTY BUILDING ORDINANCES. THE SEALING OF THIS PLAN AND SPECIFICATIONS SHALL NOT BE A BASIS FOR LIABILITY OF ANY COUNTY OFFICIAL OR OFFICER.

CONTRA COSTA COUNTY
BUILDING INSPECTION
These plans must be kept on the premises and accessible to the Inspector at all times.

CERTIFICATE OF COMPLIANCE- LTG. PART 1 OF 2 LTG-1
PROJECT NAME KENSINGTON FIRE STATION DATE 4-26-04
PROJECT ADDRESS 215 ARLINGTON AVENUE, KENSINGTON, CALIF. 94707 BLDG PERMIT #
PRINCIPAL DESIGNER-LIGHTING LLOYD DIEHL TELEPHONE 925-672-0969
DOCUMENTATION AUTHOR LLOYD DIEHL TELEPHONE 925-672-0969 CHECKED BY/DATE
GENERAL INFORMATION
DATE OF PLANS 4-26-04 BUILDING CONDITIONED FLOOR AREA 925 SQ.FT. CLIMATE ZONE 3
BUILDING TYPE [X] NON RESIDENTIAL [] HIGH RISE RESIDENTIAL [] HOTEL/MOTEL GUEST ROOM
PHASE OF CONSTRUCTION [X] NEW CONSTRUCTION [] ADDITION [] ALTERATION [] UNCONDITIONED
METHOD OF LTG. COMPLIANCE [] COMPLETE BUILDING [X] AREA CATEGORY [] TAILORED [] PERFORMANCE
STATEMENT OF COMPLIANCE
THIS CERTIFICATE OF COMPLIANCE LISTS THE BUILDING FEATURES AND PERFORMANCE SPECIFICATIONS NEEDED TO COMPLY WITH TITLE 24 PARTS 1 AND 6 OF THE CALIFORNIA CODE OF REGULATIONS. THIS CERTIFICATE APPLIES ONLY TO BUILDING LIGHTING REQUIREMENTS.
THE DOCUMENTATION PREPARER HEREBY CERTIFIES THAT THE DOCUMENTATION IS ACCURATE AND COMPLETE.
DOCUMENTATION AUTHOR LLOYD DIEHL SIGNATURE DATE 4-26-04
THE PRINCIPAL LIGHTING DESIGNER HEREBY CERTIFIES THAT THE PROPOSED BUILDING DESIGN REPRESENTED IN THIS SET OF CONSTRUCTION DOCUMENTS IS CONSISTANT WITH THE OTHER COMPLIANCE FORMS AND WORKSHEETS, WITH THE SPECIFICATIONS AND WITH ANY OTHER CALCULATIONS SUBMITTED WITH THIS PERMIT APPLICATION. THE PROPOSED BUILDING HAS BEEN DESIGNED TO MEET THE LIGHTING REQUIREMENTS CONTAINED IN SECTIONS 110, 119, 130 THROUGH 132, 146 OR 149.(OF TITLE 24, PART 6.)
PLEASE CHECK ONE:
[X] I HEREBY AFFIRM THAT I AM ELIGIBLE UNDER THE PROVISIONS OF DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION, AND THAT I AM A CIVIL ENGINEER, ELECTRICAL ENGINEER OR ARCHITECT.
[] I AFFIRM THAT I AM ELIGIBLE UNDER THE EXEMPTION TO DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE BY SECTIONS 5537.2 TO SIGN THIS DOCUMENT AS THE PERSON RESPONSIBLE FOR ITS PREPARATION, AND THAT I AM A LICENSED CONTRACTOR PREPARING DOCUMENTS FOR WORK THAT I HAVE CONTRACTED TO PERFORM.
[] I AFFIRM THAT I AM ELIGIBLE UNDER DIVISION 3 OF THE BUSINESS AND PROFESSIONS CODE TO SIGN THIS DOCUMENT BECAUSE IT PERTAINS TO A STRUCTURE OR TYPE OF WORK DESCRIBED AS EXEMPT PURSUANT TO BUSINESS AND PROFESSIONS CODE SECTIONS 5537, 5538 AND 9737.1.
(PRINCIPAL LIGHTING DESIGNER'S NAME SIGNATURE LIC. NO. DATE)
LLOYD DIEHL EE9547 4-26-04
LIGHTING MANDATORY MEASURES
INDICATE LOCATION ON PLANS OF NOTE BLOCK FOR MANDATORY MEASURES ELECTRICAL DRAWING E-3
INSTRUCTIONS TO APPLICANT
FOR DETAILED INSTRUCTIONS ON THE USE OF THIS AND ALL ENERGY EFFICIENCY STANDARDS COMPLIANCE FORMS, PLEASE REFER TO THE NONRESIDENTIAL MANUAL PUBLISHED BY THE CALIFORNIA ENERGY COMMISSION.
LTG-1: REQUIRED ON PLANS FOR ALL SUBMITTALS. PART 2 MAY BE INCORPORATED IN SCHEDULES ON PLANS.
LTG-2: REQUIRED FOR ALL SUBMITTALS.
LTG-3: OPTIONAL. USE ONLY IF LIGHTING CONTROL CREDITS ARE TAKEN.
LTG-4: OPTIONAL. PART 2 AND 3 AND LTG-5 ARE OPTIONAL IF TAILORED METHOD IS USED.
NONRESIDENTIAL COMPLIANCE FORM AUGUST 2001

CERTIFICATE OF COMPLIANCE- LTG. (PART 2 OF 3) LTG-1
PROJECT NAME KENSINGTON FIRE STATION DATE 4-26-04
INSTALLED LIGHTING SCHEDULE
LAMP BALLASTS LUMINAIRE (LAMP + BALLAST)
TAG LUMINAIRE DESCRIPTION TYPE DESCRIPTION NO. WATTS PER LAMP TYPE DESCRIPTION NO. QUAN. WATTS PER LUMIN. TOTAL WATTS
A REC. FLUOR. DOWNLIGHT CFL 2 36 ELECTRONIC 1 21 36 756
B 4' FLUORESCENT T8 1 32 ELECTRONIC 1 3 32 96
C 4' COVE LIGHT FLUOR. T8 1 32 ELECTRONIC 1 2 58 116
SUBTOTAL FROM THIS PAGE 968
PLUS SUBTOTAL FROM CONT. PAGE 0
PORTABLE LIGHTING 31
LESS CONTROL CREDIT WATTS (LTG-3) 0
ADJUSTED ACTUAL WATTS 999
MANDATORY AUTOMATIC CONTROLS
CONTROL LOCATION (ROOM #) CONTROL IDENTIFICATION CONTROL TYPE (AUTO T.S., EXTERIOR, ETC) SPACE CONTROLLED NOTE TO FIELD
CONTROLS FOR CREDIT
CONTROL LOCATION (ROOM # OR DWG) CONTROL IDENTIFICATION CONTROL TYPE (OCCUPANT, DAYLIGHT, DIMMING, ETC) LUMINAIRE TYPE # OF LUMIN. CONTROLLED NOTE TO FIELD
NOTES TO FIELD (BLDG. DEPT. USE ONLY)
NONRESIDENTIAL COMPLIANCE FORM AUGUST 2001

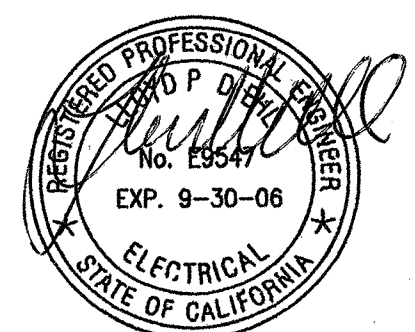
LIGHTING COMPLIANCE SUMMARY LTG-2
PROJECT NAME KENSINGTON FIRE STATION DATE 4-26-04
ACTUAL LIGHTING POWER
LUMINAIRE NAME DESCRIPTION NUMBER OF LUMINAIRE WATTS PER LUMINAIRE C.E.C. DEFAULT Y N TOTAL WATTS
A REC. FLUOR. DOWNLIGHT 21 36 [X] [] 756
B 4' FLUORESCENT 3 32 [X] [] 96
C 4' COVE LIGHT FLUOR. 2 58 [X] [] 116
SUBTOTAL FROM THIS PAGE 968
PLUS SUBTOTAL FROM CONTINUATION PAGE 0
PORTABLE LIGHTING (LTG-1; PART 3 OF 3) 31
BUILDING TOTAL 999
LESS CONTROL CREDIT WATTS 0
ADJUSTED ACTUAL WATTS 999
ALLOWED LIGHTING POWER
COMPLETE BUILDING METHOD
BUILDING CATEGORY WATTS PER SF. COMPLETE BLDG. AREA ALLOWED WATTS
NOT USED. - - -
AREA CATEGORY METHOD
AREA CATEGORY (FROM 146b, TABLE 1-1) WATTS PER SF. AREA IN SQ.FT. ALLOWED WATTS
OFFICE AREAS 1.3 156 202
KITCHEN 1.7 175 297
HALL/ STORAGE ROOM 0.6 224 134
DINING 1.1 154 171
LOUNGE 1.1 216 237
TOTALS 925 1041
TAILORED OR PERFORMANCE METHOD
[] TAILORED [] PERFORMANCE TOTAL ALLOWED WATTS -
NONRESIDENTIAL COMPLIANCE FORM AUGUST 2001

CERTIFICATE OF COMPLIANCE- LTG. (PART 3 OF 3) LTG-1
PROJECT NAME: KENSINGTON FIRE STATION DATE: 4-26-04
TABLE 1A- PORTABLE LIGHTING NOT SHOWN ON PLANS FOR OFFICE AREA > 250 SQUARE FEET
TABLE 1B- PORTABLE LIGHTING SHOWN ON PLANS FOR OFFICE AREA > 250 SQUARE FEET
TABLE 1C- PORTABLE LIGHTING IS NOT REQUIRED FOR OFFICE AREA > SQUARE FEET
BUILDING SUMMARY- PORTABLE LIGHTING
BUILDING SUMMARY TOTAL AREA (SF) FROM TABLES 1A + 1B + 1C TOTAL WATTS FROM TABLES 1A + 1B.
BUILDING SUMMARY 154 31
ENTER ON LTG-1 AND 2: PORTABLE LIGHTING
NONRESIDENTIAL COMPLIANCE FORM AUGUST 2001

LIGHTING MANDATORY MEASURES
CONTRACTOR IS RESPONSIBLE FOR MEETING ALL REQUIREMENTS OF ITEMS LISTED BELOW. HIS WORK SHALL INCLUDE DEVICES, EQUIPMENT, CONNECTIONS AS REQUIRED FOR A COMPLETE AND OPERABLE INSTALLATION. ALL EQUIPMENT WILL BE CERTIFIED AND LISTED BY THE COMMISSION.
APPLIES
N.A. [] 1. ALL AUTOMATIC CONTROL DEVICES SPECIFIED WILL BE CERTIFIED. ALL ALTERNATE EQUIPMENT SHALL BE CERTIFIED AND INSTALLED AS DIRECTED BY MANUFACTURER.
[] 2. ALL FLUORESCENT FIXTURES AND BALLASTS SPECIFIED FOR THE PROJECT WILL BE CERTIFIED AND LISTED BY THE COMMISSION. SEE FIXTURE SCHEDULE.
N.A. [] 3. ALL ONE AND THREE LAMP FLUORESCENT FIXTURES ARE TANDEM WIRED WITH TWO LAMP BALLASTS AS NOTED ON THE FIXTURE SCHEDULE. STRIPS MUST BE CONTINUOUS FOR TANDEM WIRING REQUIREMENT.
N.A. [] 4. ALL THREE LAMP FLUORESCENT FIXTURES ARE SPECIFIED WITH ELECTRONIC HIGH FREQUENCY BALLASTS AND ARE EXEMPT FROM TWO LAMP TANDEM WIRING REQUIREMENTS.
[] 5. EACH ROOM AND AREA IN THIS BUILDING IS EQUIPPED WITH A SEPARATE SWITCH FOR EACH AREA WITH FLOOR TO CEILING WALLS. MOTION SENSORS MAY BE USED.
[] 6. ALL ROOMS AND AREAS GREATER THAN 100 SQ.FT., AND MORE THAN 1.2 WATTS PER SQ.FT., OF LIGHTING LOAD SHALL BE CONTROLLED WITH BI-LEVEL SWITCHING FOR UNIFORM REDUCTION OF LIGHTING WITHIN THE ROOM.
N.A. [] 7. ALL ROOMS WITH WINDOWS AND SKYLIGHTS, THAT ARE GREATER THAN 250 SQ.FT., AND THAT ALLOW FOR THE EFFECTIVE USE OF DAYLIGHT, SHALL HAVE 50% OF THE LAMPS IN EACH DAYLIT AREA CONTROLLED BY A SEPARATE SWITCH.
N.A. [] 8. THE EFFECTIVE USE OF DAYLIGHT THROUGH CANNOT BE ACCOMPLISHED BECAUSE THE WINDOWS ARE CONTINUOUSLY SHADED BY A BUILDING ON THE ADJACENT PROPERTY. DIAGRAM OF SHADING DURING DIFFERENT TIMES OF THE YEAR IS INCLUDED ON THE PLANS.
N.A. [] 9. EXTERIOR MOUNTED FIXTURES ARE EXISTING.
356983 PERMIT NUMBER
REVIEWED FOR CONFORMANCE WITH COUNTY BUILDING ORD. AND CODES. THE SIGNATURE OF THIS PERSON SHALL NOT BE VALID TO THE EXTENT OF THE BUILDING CODES OR ORDINANCES OF ANY COUNTY OR LOCAL AGENCY.
CONTRA COSTA COUNTY DIRECTOR OF BUILDING INSPECTION
These plans must be kept on the premises and accessible to the inspector at all times.

ITALO A. CALPESTRI III & ASSOCIATES AIA
BANK OF AMERICA BUILDING
1504 PARK STREET, SUITE 7
ALAMEDA, CA 94501
TEL: (510) 522-6769
FAX: (510) 521-1427

WECO ELECTRIC
LLOYD P. DIEHL, PE.
P.O. BOX 6124 CONCORD, CA 94524
BUS: (925) 672-0969 FAX: (925) 672-4974



REVISIONS:

No.	DESCRIPTION	DATE

PROJECT: KENSINGTON FIRE STATION
215 ARLINGTON AVENUE
KENSINGTON, CA 94707

DRAWING TITLE: TITLE 24 LIGHTING CALCULATIONS

PROJECT No.:
DRAWN BY: LLOYD DIEHL
CHECKED BY: LLOYD DIEHL
DATE: 6-2-2004
SCALE: AS NOTED

SHEET NO.:

E-3